

**PB# 06-12**

**Silver, Forrester, &  
Schisano (Parking)**

**14-3-2**

06-12 Silver, Forrester, Schisano  
Rtaw (Coppola) Parking

TOWN OF NEW WINDSOR  
PLANNING BOARD

APPROVED COPY

DATE: February 2, 2007



**SUBMITTAL HISTORY FOR**  
**PLANNING BOARD FILE #06-12**

APPLICANT: SILVER, FORRESTER, SCHISANO

DATE RECEIVED: 08-18-06

ITEM RECEIVED: COST ESTIMATE - ONE COPY OF REVISED PLAN

DISTRIBUTION: SENT THE ONE COPY OF PLAN AND COPY OF COST EST. TO MARK

RESULTS: *Received Approval back 9/1<sup>6</sup>/06*

SILVER, \_FORRESTER, \_SCHISANO, \_LESSER & \_DREYER, \_P.C.\_  
\_\_\_\_\_  
(06-12)  
\_\_\_\_\_

Mr. Anthony Coppola appeared before the board for this proposal.

MR. ARGENIO: Application proposes two story building on the front which would be the west side of the building. Mr. Coppola is representing this.

MR. COPPOLA: Thank you, Mr. Chairman. This is a small two story addition to the existing law offices at Silver Forrester, we were actually I think in front of this planning board in about six or seven years ago, they did a second story addition here, what they're proposing now is basically I'll show you the interior real briefly kind of a relocation of the existing staircase, that entrance door, that front, the parking lot that's going to remain where it is, they're going to relocate the stairs, enlarge their waiting room, do a new staircase, new office kind of in this empty spot in the front here so the setback to the road will not become any less than it is now, then a second story office and then staircase upstairs. What's kind of driving the size here is two things, one is the sprinkler ordinance which requires this building to be sprinklered if it's over 5,000 square feet, we're just under that, and basically when we were here for the last addition they improved the parking lot based on that size at that time and the parking has since been calculated on a denser basis, I believe it was 200 square feet before, it's 150 square feet now, one space per 150 square feet. So we had to recalculate one space here, 150 square feet, so the parking lot footprint that's there right now is 90 or 95 percent the same as what we're showing to be proposed, the biggest major difference is they have this angled entrance on the northbound lane of 9W and really to get the parking that's required on that one space per 150 square feet.

MR. ARGENIO: You have to close the entrance.

MR. COPPOLA: Exactly which I'm sure DOT's going to love and then rework some additional parking at that corner, so that's really it in a nutshell, parking lot is more or less where it is right now, we'll have to restripe it and probably rework a bit of that to get the requirement in, the entrance stays the same and the proposed building is just kind of filling that corner there.

MR. VAN LEEUWEN: In other words, you're going to close one entrance off and keep one entrance, right?

MR. COPPOLA: Right, the angled entrance will be closed off and this is wide enough, that two way entrance there.

MR. SCHLESINGER: Is there an elevator?

MR. COPPOLA: No, under 3,000 square feet doesn't need an elevator.

MR. SCHLESINGER: And the total with the new building?

MR. COPPOLA: Just under 5,000 4,900 and change.

MR. SCHLESINGER: What did you say about the elevator, 3,000?

MR. COPPOLA: If I build a new two story office building and I build a second floor that's under 3,000 square feet, I do not need an elevator, under 3,000 square feet is the key.

MR. ARGENIO: I think the main reason that this is here, correct me if I'm wrong, this is an architectural issue, I think the main reason it's here you're playing games with the parking and closing the entrance, is

that right, Mark?

MR. EDSALL: Well, they're got the addition, they're squaring off the building because of interior architectural issues and access to stairways and such.

MR. COPPOLA: We're adding square footage to the building, 600 square foot.

MR. MINUTA: We're not seeking any variances here, correct?

MR. COPPOLA: No, no, our parking spaces conform, the setback is probably non-conforming but we're not being greater than what's there.

MR. ARGENIO: Not impacting more adversely than what's there now.

MR. COPPOLA: Correct.

MR. ARGENIO: You have some corrections on the bulk tables, you have a copy of Mark's comments?

MR. COPPOLA: I do now.

MR. ARGENIO: Number one, two corrections that need to be made to the bulk tables. Mark has a couple things I just want to, I will certainly give the board members an opportunity to comment further but I want to dispose of this first. You've got to put the additional handicapped spaces in there or the additional handicapped space, we're going to need detail on the final disposition of that southern entrance how you're closing that off, curbing that, putting grass in, putting, what are you doing there?

MR. COPPOLA: We'll detail that.

MR. ARGENIO: The handicapped parking detail should be

corrected properly to depict the paired blue and white stripes on top of that, do you understand what he's talking about, that's a new thing and a lot of towns are doing it and it works rather well.

MR. COPPOLA: Blue and white?

MR. EDSALL: Well, you show one stripe and painted it twice, believe me, Mike and I have learned.

MR. BABCOCK: This is not for Anthony, it's for the guy building it.

MR. EDSALL: We've learned unless it's on the plan, right, they always do it right in the field.

MR. ARGENIO: I'll accept, Mark, we can assume lead agency, we don't have to put out a letter.

MR. EDSALL: I don't believe that there's going to be other than probably a procedural permit or just a letter of okay, they're not building anything new, they're eliminating something, so I don't think DOT really cares.

MR. ARGENIO: Accept a motion that we circulate--

MR. EDSALL: No, I think we can just assume the position of lead agency.

MR. VAN LEEUWEN: So moved.

MR. MINUTA: Second it.

MR. ARGENIO: Motion has been made and seconded that the New Windsor Planning Board assume lead agency under the SEQRA review process. No further discussion from the board members, roll call.

ROLL CALL

MR. SCHLESINGER      AYE  
MR. BROWN            AYE  
MR. MINUTA           AYE  
MR. VAN LEEUWEN      AYE  
MR. ARGENIO          AYE

MR. ARGENIO: I'm going to leave it up to my contemporaries.

MR. VAN LEEUWEN: You're getting awful fancy with the words.

MR. ARGENIO: I went to college, that's why. How does everybody feel about the public hearing?

MR. VAN LEEUWEN: I don't think you need a public hearing.

MR. ARGENIO: I kind of agree. Neil? Joe? Howard?

MR. BROWN: I don't think we need one.

MR. VAN LEEUWEN: Make a motion we waive it.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Joe, you're all right with that?

MR. MINUTA: I'm fine.

MR. ARGENIO: Motion has been made and seconded we waive the public hearing for the Silver Forrester.

MR. VAN LEEUWEN: Can I ask one question before we vote? Are you going to dress up that building cause that building is ugly?

MR. COPPOLA: Yes, yes, absolutely promise to do that.

MR. ARGENIO: He's got, let me finish my thought before I get sidetracked, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. MINUTA	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: We're not going over the fence with this one, there's some things that have to be done here and they need to be done.

MR. VAN LEEUWEN: I want to see a picture of the new building the way it's going to look.

MR. ARGENIO: This has to go to Orange County Planning, Mark, we don't have to vote on that?

MR. EDSALL: No, you could given the very minor nature you could get SEQRA out of the way and classify it.

MR. ARGENIO: Take care of notifying Orange County Planning and I would, I'll accept a motion for a negative dec under SEQRA if anybody agrees.

MR. VAN LEEUWEN: So moved.

MR. MINUTA: Second it.

MR. ARGENIO: Motion has been made and seconded that the New Windsor Planning Board declare negative declaration on the SEQRA process for Silver, Forrester site plan amendment. No further discussion from the board members, roll call.

ROLL CALL

April 26, 2006

74

MR. SCHLESINGER      AYE  
MR. BROWN            AYE  
MR. MINUTA           AYE  
MR. VAN LEEUWEN      AYE  
MR. ARGENIO          AYE

MR. ARGENIO: Mark, do we refer to highway or does--

MR. EDSALL: DOT, I'll send it up, we'll send it to both Siby Carbone up in Newburgh and to the Department of Planning and I would think in 30 days you'll be ready to ask for approval.

MR. MINUTA: The entrance clearly you have enough room, I do have a concern with the, where we have the car parked at the entrance, if there's something that could barricade that car from another car coming into the parking lot.

MR. COPPOLA: We could add a little peninsula there.

MR. ARGENIO: You know what, Anthony, get us a width on that too, put the width on the plans, I want the width of the entrance posted on the plans please, if you would.

MR. BABCOCK: It's on there.

MR. COPPOLA: It's 25 feet.

MR. ARGENIO: Thank you.





**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

**MAIN OFFICE**

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

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E-MAIL: MHEHY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** SILVER FORRESTER et al SITE PLAN AMENDMENT  
(PROPOSED 619 s.f. OFFICE ADDITION)  
**PROJECT LOCATION:** NYS ROUTE 9W  
SECTION 14 - BLOCK 3 - LOT 2  
**PROJECT NUMBER:** 06-12  
**DATE:** 26 APRIL 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES A TWO-STORY 619 s.f. ADDITION ON  
THE FRONT (WEST) SIDE OF THE BUILDING.


1. The application seems fairly simple in nature, with minimal zoning implications. The project is located in the NC zoning district of the Town. The bulk information shown on the plan is correct for the zone and use, with the exception of the following necessary corrections:
  - Maximum development coverage is 85%
  - Required Handicapped parking for 33 total spaces is 2.
2. I have reviewed the plan and have the following comments:
  - As noted above, and additional handicapped space must be depicted.
  - More detail should be provided on what will be done to close the southerly entrance.
  - The handicapped parking detail drafting should be corrected to properly depict the paired blue and white 4" striping at the transition from standard spaces to handicapped (further note that the handicapped detail conflicts with the typical parking space detail on the plan).
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.

**REGIONAL OFFICE**

• 111 WHEATFIELD DRIVE - SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •  
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

4. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan Amendment, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.
5. The Planning Board may wish to classify this action as an "unlisted action" under SEQRA, and consider a "negative declaration" of environmental significance, based on the information presented and reviewed.
6. This project is adjacent to a State Highway and, as such, must be referred to the Orange County Planning Department as per New York State General Municipal Law (GML 239). I request the
7. A referral is necessary to the NYSDOT since the driveway closure will involve work within the DOT right-of-way; however, I anticipate no objection. With the Board's permission, I will make this referral.

Respectfully Submitted,

  
Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/n  
NW06-12-26Apr06

- FRANK K. CUMMINS  
- ADJ. PERMISSA

562-9020

Sandy

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 01/24/2007


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LISTING OF PLANNING BOARD **FEES**  
**4% FEE**

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094  
APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2006	2%/CST EST. 30751. INSP F	CHG	615.02		
01/23/2007	REC. CK. #10266	PAID		615.02	
		TOTAL:	615.02	615.02	0.00



P.B.# 06-12 Approval fee

**Town of New Windsor**  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#67-2007**

01/26/2007

Silver, Forrester, Schisano

Received \$ 125.00 for Planning Board Fees, on 01/26/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

**Deborah Green**  
Town Clerk

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/05/2007

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LISTING OF PLANNING BOARD ACTIONS

STAGE: STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 6-12  
NAME: SILVER, FORRESTER SITE PLAN PA2006-0094  
APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
02/02/2007	PLANS STAMPED	APPROVED
07/26/2006	P.B. APPEARANCE	APPR SUB TO MARK
04/26/2006	P.B. APPEARANCE	LA:ND WVE PH RETURN
	. CORRECT BULK TABLES -	ADD HANDICAP SPACE - DETAIL CLOSURE OF
	. ENTRANCE - SEND TO OC	PLANNING AND NYSDOT
04/05/2006	WORK SHOP	SUBMIT
03/01/2006	WORK SHOP	RET TO WS

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/05/2007

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LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	04/20/2006	EAF SUBMITTED	04/20/2006	WITH APPLIC
ORIG	04/20/2006	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	04/20/2006	LEAD AGENCY DECLARED	04/26/2006	TOOK LA
ORIG	04/20/2006	DECLARATION (POS/NEG)	04/26/2006	DECL NEG DEC
ORIG	04/20/2006	SCHEDULE PUBLIC HEARING	/ /	
ORIG	04/20/2006	PUBLIC HEARING HELD	/ /	
ORIG	04/20/2006	WAIVE PUBLIC HEARING	04/26/2006	WAIVED PH
ORIG	04/20/2006	PRELIMINARY APPROVAL	/ /	
ORIG	04/20/2006		/ /	
ORIG	04/20/2006	LEAD AGENCY LETTER SENT	/ /	



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4689

## OFFICE OF THE PLANNING BOARD

January 16, 2007

Coppola Associates  
3 Washington Center - 2<sup>nd</sup> Floor  
Newburgh, NY 12550

ATTN: ANTHONY J. COPPOLA

SUBJECT: SILVER, FORRESTER, SCHISANO, LESSER - PB #06-12

Dear Mr. Coppola:

Please find attached printouts of fees due for subject project. There is a balance remaining in the escrow account that will be returned to the applicant.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 - Approval Fee.....	\$ 125.00
Check #2 - 2% of cost estimate - inspection fee.....	\$ 615.02

Upon receipt of these checks and ten (10) sets of plans (5 folded sets), I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

---

Myra L. Mason, Secretary To The  
NEW WINDSOR PLANNING BOARD

MLM

cc: Silver, Forrester, Schisano, Lesser

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 01/16/2007

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LISTING OF PLANNING BOARD **FEES**  
**APPROVAL**

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2006	SITE PLAN APPROVAL	CHG	125.00		
			-----	-----	-----
		TOTAL:	125.00	0.00	125.00



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2006

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LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2006	2%/CST EST. 30751. INSP F	CHG	615.02		
		TOTAL:	615.02	0.00	615.02

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 01/16/2007

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LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/20/2006	REC. CK. #8510	PAID		750.00	
04/26/2006	P.B. ATTY. FEE	CHG	35.00		
04/26/2006	P.B. MINUTES	CHG	49.00		
07/26/2006	P.B. ATTY. FEE	CHG	35.00		
07/26/2006	P.B. MINUTES	CHG	35.00		
09/14/2006	P.B. ENGINEER FEE	CHG	448.50		
01/16/2007	RET. TO APPLICANT	CHG	147.50		
		TOTAL:	750.00	750.00	0.00

L.R. 1/16/07

P.B. #06-12

Silver, Forrester, Schisano, Lesser & Dreyer				
Site Work Construction Budget				
Item	Quantity		Unit Price	Total
Site Work:				
◆ Rough grading/Demolition				\$ 5,000.00
◆ Final grading				\$ 2,000.00
◆ Pavement	11,263	SF	\$ 1.50	\$ 16,894.50
◆ Miscellaneous Landscaping	1		\$ 2,500.00	\$ 2,500.00
Total:				\$ 26,394.50

curb  
striping  
H/C sign/strip.  
dumpster enclosure

120	LF	\$18	\$2,160
33	EA	\$9	\$297
2	EA	\$200	\$400
1	EA	\$1,500	\$1,500

revised total

\$30,751

9/5/6

\$615.02 <sup>2%</sup> Inspect. fee

SEP-14-2006 10:44  
AS OF: 09/14/2006

MC GOEY HAUSER EDSALL PC

845 567 3232 P.03

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 6- 12

FOR WORK DONE PRIOR TO: 09/14/2006

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
6-12	294302	03/01/06	TIME	MJE	WS SILVER FORRESTER S/P	115.00	0.50	57.50			
6-12	299411	04/05/06	TIME	MJE	WS SILVER FORRESTER S/P	115.00	0.40	46.00			
6-12	301909	04/21/06	TIME	MJE	MR TC/MS MWFI SILVR FOR	115.00	0.30	34.50			
6-12	301913	04/22/06	TIME	MJE	MR SILVER FORRESTER	115.00	0.80	92.00			
6-12	305616	05/10/06	TIME	MJE	MC OODP REFERRAL	115.00	0.40	46.00			
								276.00			
6-12	306804	05/24/06			BILL 06-1236					-276.00	
										-276.00	
6-12	312097	06/21/06	TIME	MJE	WS SILVER S/P	115.00	0.40	46.00			
6-12	316535	07/19/06	TIME	MJE	MR SILVER	115.00	0.40	46.00			
6-12	316539	07/20/06	TIME	MJE	MR SILVER	115.00	0.30	34.50			
6-12	316958	07/26/06	TIME	MJE	MM SILVER COND S/P APPL	115.00	0.10	11.50			
								138.00			
6-12	325042	09/13/06			BILL 06-2321					-138.00	
										-138.00	
					TASK TOTAL			414.00		-414.00	0.00
									0.00		0.00
					GRAND TOTAL			414.00		-414.00	0.00
									0.00		0.00

9/14 3 cleared  
34.50  

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448.50

JULY 26, 2006

SILVER FORRESTER et al SITE PLAN AMENDMENT

MR. ARGENIO: Silver Forrester, Schisano, Lesser and Dreyer, Route 9W. This application proposes a two-story 619 square foot addition on the front, which would be the west side of the building. The application was previously reviewed at the 26 April 2006 Planning Board meeting. Mr. Coppola is here to represent this. And we'd like to hear from you, Mr. Coppola.

MR. COPPOLA: Thank you, Mr. Chairman. Briefly this is a very small addition to the existing law offices of Silver, Forrester and Schisano. Since the last Planning Board we were at, today, a workshop with Mark, there's been very little changes to the parking lot. The parking for the total square footage of the, total square footage, which I think is calculated at one space per 150 square feet. We are only adding slightly over 600 square feet of the two-story addition. That's kind of in the nook of the space that's currently vacant right now in the front yard. And really one of the large items last time was the --

MR. ARGENIO: Looks of the building.

MR. COPPOLA: Exactly, the architectural review. I think we've given you plans for that and basically what we're doing is a full front facade and a side facade restoration. We're going to introduce -- right here is the new addition. There's going to be a new covered entrance here which is really in about the same spot as the existing entrance. We're going to introduce a tower which basically can be used as like a vertical element here because you've got basically this existing, what used to be an existing house and then this box next to it. So we're introducing the tower where the stairs are with a large mental window, a double window and basically a cultured stone base that goes all the way on the bottom of the existing building. On this side of the existing building there's this angled soffit right, they built this thing out years ago, that's going to be removed. We're going to put cultured stone there. Reroof that area. That roof will match the new roof. And then basically use stow or some type of exterior finishing system over the existing texture.

MR. ARGENIO: Is this that rat building that has the T 111 on the sides of it?

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MR. COPPOLA: Yes. Sorry, we're replacing that texture.

MR. ARGENIO: Go ahead, I interrupted, I'm sorry.

MR. COPPOLA: That texture is going to be removed so you won't see that at all.

MR. MINUTA: What I am seeing, this is the full breath of the building because the plans that I have are different than what you're showing. I have a partial elevation?

MR. COPPOLA: Yes, we finished that, that's correct. So, yeah, they asked us to finish the drawings. There's not really that much difference. We just took a second look at everything, kind of fine-tuned it. Showed the rest of this here and they wanted -- actually now that I looked at that we had a shed roof before I changed it to a gable. So it's the same intention, but we just kind of improved it, I think.

MR. ARGENIO: Anthony, did you say the stone was cultured?

MR. COPPOLA: Cultured stone.

MR. ARGENIO: What about an access, anything to that nature?

MR. COPPOLA: You're fine with that. The building is accessible right now and it will be accessible. There's going to be, they have a striped loading area. We're going to rearrange that handicapped area. There's no ramp. You're at grade. It's a slab on grade so you're at grade.

MR. MINUTA: The second floor is less 2,000.

MR. COPPOLA: The entire building is less than 5,000. So we're under the sprinkler ordinance. That was an issue. And the second floor is less than 2,500.

MR. SCHLESINGER: Which means you do not need an elevator.

MR. COPPOLA: Less than 3,000 square feet, correct?

MR. ARGENIO: Yes. We've heard from the fire department, or the fire inspector, he's good with it. I just want to read this into the minutes, the project will have no, this is from the Orange County

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Planning Department, the project will have no major impact upon State or county facilities. It's consistent with the county comprehensive plan and they recommend local determination. I think it's nice, Anthony, I'm going to tell you something.

MR. VanLEEUEWEN: Big improvement.

MR. ARGENIO: You have no coverage issues, obviously it's a huge lot. Is he giving you what you're looking for there?

MR. MINUTA: It's a great improvement to what's there. Really ties in, you know. We can start seeing a lot of Route 9W, we should be seeing with the advent of the other property right down the road, that's being cleaned up. They are providing new doors and awnings and so forth on that project. I think this is in keeping with that.

MR. SCHLESINGER: Did we have a dumpster on the plan? Dumpster?

MR. COPPOLA: I think they store everything in the back of the building right now and that won't change.

MR. SCHLESINGER: Accessible to garbage removal?

MR. COPPOLA: Yeah. I don't know how they do it. I didn't actually address that with them. It's not out in front, I can tell you that.

MR. SCHLESINGER: You need to go --

MR. VanLEEUEWEN: It should be addressed. They have a lot of papers, the wind comes along and blows them all over the place and then we've got a messy problem.

MR. MINUTA: Is there a flag pole on this?

MR. VanLEEUEWEN: There will be.

MR. ARGENIO: Anthony, I'm going to just give you a little commentary on how I feel about that. I think that's a very good point, Neil. I think you should, and I don't to turn this into brain surgery but, Mark, I think has a good flavor for the spirit of what we look for with refuse. You should address it and I really kind of wish that you had it on your plan tonight, but you don't. But I don't think it's something that we should get, I don't think it's something that we should stop the whole works for.

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MR. MINUTA: Maybe make that a subject to.

MR. ARGENIO: I think so. I think I will leave it in Mark's hands and Mike. Are you guys okay?

MR. EDSALL: With, yes, we will deal it. It's a facility, we will find out what they are doing, if we can enhance it.

MR. ARGENIO: They may be using their refuse in three garbage cans right now. It could be that simple. I'm trying to get direction. The left-hand side is?

MR. COPPOLA: This is north.

MR. ARGENIO: What's on the north side of the building?

MR. COPPOLA: They are very close to the lot line there. That's a used car lot.

MR. ARGENIO: Rich Gaylord (phonetic), the car dealership.

MR. SCHLESINGER: I mean if they have their refuse there now there's no access to get to it, I guess.

MR. COPPOLA: Correct. That's correct.

MR. SCHLESINGER: I hate to hold you up for something like that, but it's something that --

MR. COPPOLA: That's correct. We feel comfortable between Mark and Mike to address it, then I'm fine with it as long as it's addressed.

MR. ARGENIO: Make a note to yourself, Anthony, when you come in front of us, that's something that you need to be on top of because certainly this doesn't appear to hold you up this time, but certainly next time it might. We'll leave that in the competent



JULY 26, 2006

hands of Mark and Mike.

MR. MINUTA: Just that the dump enclosure be in,  
The dumpster enclosure would be in kind  
complimentary to the new proposal.

MR. COPPOLA: That's what we do.

MR. ARGENIO: Mark, is there anything else here?  
This is pretty simple. I'm glad Neil brought that  
up, that was good. Mark?

MR. EDSALL: The only correction other than the  
conditions, the Board has brought up, is I had asked  
for a change to the handicapped detail. We did get  
the change, but we ended up now with two sets of  
details that don't match. So I will just work with  
Anthony to eliminate the ones we don't want.

MR. ARGENIO: Send the bad set back to him.

MR. EDSALL: We'll work with him.

MR. ARGENIO: Okay, you will.

MR. VanLEEUEWEN: I'll make a motion, Mr. Chairman,  
to approve it subject to Mark's conditions, the flag  
pole and the garbage enclosure.

MR. GALLAGHER: Second.

MR. ARGENIO: A motion has been made and seconded by  
the Town of New Windsor granting final approval to  
Silver, Forrester et al. site plan amendment on 9W  
subject to what Mr. VanLeeuwen just read into the  
minutes and we're going to need a bond estimate for  
this. Mark, payment of fees?

MR. EDSALL: Fees, DOT and handicapped correction.

MR. ARGENIO: DOT and handicapped correction. If  
there's no further discussion from the Board I will  
have a roll call.

ROLL CALL

MR. GALLAGHER: Aye.

MR. SCHLESINGER: Aye.

MR. MINUTA: Aye.

MR. VanLEEUEWEN: Aye.

MR. ARGENIO: Aye.



**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

**MAIN OFFICE**  
**33 AIRPORT CENTER DRIVE**  
**SUITE 202**  
**NEW WINDSOR, NEW YORK 12553**

**(845) 567-3100**  
**FAX: (845) 567-3232**  
**E-MAIL: MHENT@MHEPC.COM**

**WRITER'S E-MAIL ADDRESS:**  
**MJE@MHEPC.COM**

**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** SILVER FORRESTER et al SITE PLAN AMENDMENT  
(PROPOSED 619 sf OFFICE ADDITION)  
**PROJECT LOCATION:** NYS ROUTE 9W  
SECTION 14 – BLOCK 3 – LOT 2  
**PROJECT NUMBER:** 06-12  
**DATE:** 26 JULY 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES A TWO-STORY 619 s.f. ADDITION ON  
THE FRONT (WEST) SIDE OF THE BUILDING. THE APPLICATION  
WAS PREVIOUSLY REVIEWED AT THE 26 APRIL 2006 PLANNING  
BOARD MEETING.

1. The application seems fairly simple in nature, with minimal zoning implications. The project is located in the NC zoning district of the Town. The bulk table has been corrected as requested.
2. The handicapped parking detail still needs further correction. Please refer to previous comments.
3. The Board has already completed and closed SEQRA for this application, and has waived the public hearing.
4. The application was referred to OCDP on May 10<sup>th</sup>, and was returned on May 30<sup>th</sup>, with "Local Determination" status.
5. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 137 of the Town Code.

Respectfully Submitted,

  
Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW06-12-26July06

**REGIONAL OFFICES**

• 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •  
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2006

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	07/13/2006	MUNICIPAL HIGHWAY	07/25/2006	APPROVED
REV1	07/13/2006	MUNICIPAL WATER	/ /	
REV1	07/13/2006	MUNICIPAL SEWER	/ /	
REV1	07/13/2006	MUNICIPAL FIRE	07/14/2006	APPROVED
REV1	07/13/2006	NYSDOT	/ /	
ORIG	04/20/2006	MUNICIPAL HIGHWAY	07/13/2006	SUPERSEDED BY REV1
ORIG	04/20/2006	MUNICIPAL WATER	07/13/2006	SUPERSEDED BY REV1
ORIG	04/20/2006	MUNICIPAL SEWER	07/13/2006	SUPERSEDED BY REV1
ORIG	04/20/2006	MUNICIPAL FIRE	04/21/2006	APPROVED
ORIG	04/20/2006	NYSDOT	07/13/2006	SUPERSEDED BY REV1

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2006

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
O [Disap, Appr]

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
04/26/2006	P.B. APPEARANCE	LA:ND WVE PH RETURN
	. CORRECT BULK TABLES -	ADD HANDICAP SPACE -
	. ENTRANCE - SEND TO OC	DETAIL CLOSURE OF
		PLANNING AND NYSDOT
04/05/2006	WORK SHOP	SUBMIT
03/01/2006	WORK SHOP	RET TO WS

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2006

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094  
APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	04/20/2006	EAF SUBMITTED	04/20/2006	WITH APPLIC
ORIG	04/20/2006	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	04/20/2006	LEAD AGENCY DECLARED	04/26/2006	TOOK LA
ORIG	04/20/2006	DECLARATION (POS/NEG)	04/26/2006	DECL NEG DEC
ORIG	04/20/2006	SCHEDULE PUBLIC HEARING	/ /	
ORIG	04/20/2006	PUBLIC HEARING HELD	/ /	
ORIG	04/20/2006	WAIVE PUBLIC HEARING	04/26/2006	WAIVED PH
ORIG	04/20/2006	PRELIMINARY APPROVAL	/ /	
ORIG	04/20/2006		/ /	
ORIG	04/20/2006	LEAD AGENCY LETTER SENT	/ /	



## **COUNTY OF ORANGE**

**EDWARD A. DIANA**  
COUNTY EXECUTIVE

## **DEPARTMENT OF PLANNING**

124 MAIN STREET  
GOSHEN, NEW YORK 10924-2124  
TEL: (845)291-2318 FAX: (845)291-2533  
[www.orangecountygov.com/planning](http://www.orangecountygov.com/planning)

**DAVID CHURCH, A.I.C.P.**  
COMMISSIONER

### **ORANGE COUNTY DEPARTMENT OF PLANNING** **239 L, M OR N REPORT**

**This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.**

**Referred by:** New Windsor Planning Board

**Reference/County ID No.:** NWT12-06M  
**Tax Parcel ID:** 14-3-2

**Applicant:** Richard Schisano

**Proposed Action:** Site Plan: Addition

**Reason for Review:** Within 500' of US RTE 9W

**Date of Full Statement:** May 15, 2006

**Comments:** The Department has received the above application for the construction of an addition, and offers the following:

- The project will have no major impact upon State or County facilities nor have any significant inter-municipal issues. ✓
- It is also consistent with the County Comprehensive Plan and local laws.
- Having no further comments, from a County perspective, the Department recommends that the Planning Board proceed with its decision-making review process.

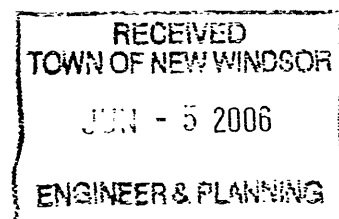
**County Recommendation:** Local Determination

**Date:** May 30, 2006

**Reviewed By:** Kathy V. Murphy, Planner

  
**David Church, AICP**  
**Commissioner of Planning**

**"IMPORTANT NOTE:** As per NYS General Municipal Law 239-m(6), within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at [www.orangecountygov.com/planning](http://www.orangecountygov.com/planning)."



cc: M.E.

# ORANGE COUNTY DEPARTMENT OF PLANNING

124 Main Street  
Goshen, NY 10924-2124

## APPLICATION FOR MANDATORY COUNTY REVIEW OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 06-12 (Please include this number on any correspondence)

1. Municipality Town of New Windsor Public Hearing Date: not set

City, Town or Village Board \_\_\_\_\_ Planning Board X Zoning Board \_\_\_\_\_

2. Owner: Name: Silver Forrester Schisano Lesser Dreyer  
Address: 3250 Rt. 9W, New Windsor, NY 12553

3. Applicant \* Name: Richard Schisano, Esq.  
Address: 3250 Rt. 9W, New Windsor, NY 12553

**\*If applicant is owner, leave blank**

4. Location of Site: East Side Rt. 9W just south of Rt. 94  
(Street or highway, plus nearest intersection)

Tax Map Identification: Section: 14 Block: 3 Lot: 2

Present Zoning District: NC Size of Parcel: 1.5+ Acres

5. Type of Review:

### \*\*\*Site Plan

Zone Change: From -- To: --

Zoning Amendment: To Section \_\_\_\_\_

\*\*Subdivision: Number of Lots/Units \_\_\_\_\_

\*\*\*Site Plan: Use 619 sf addition to existing building

Date: 5-10-06

Signature & Title: \_\_\_\_\_

**Mark J. Edsall, P.E.,  
Planning Board Engineer**

PLANNING BOARD  
TOWN OF NEW WINDSOR  
555 UNION AVENUE  
NEW WINDSOR, N.Y. 12553

Appl No: 6-12

File Date:04/20/2006

SEC-BLK-LOT:14-3-2-0

Project Name:SILVER, FORRESTER SITE PLAN PA2006-0094

Type:3

Owner's Name:SILVER, FORRESTER, SCHISANO, LESSER  
Address:3250 RT. 9W NEW WINDSOR, NY

Phone:(845) 562-9020

Applicant's Name:SILVER, FORRESTER, SCHISANO, LESSER  
Address:3250 RT. 9W NEW WINDSOR, NY

Phone:(845) 562-9020

Preparer's Name:ANTHONY COPPOLA  
Address:3 WASHINGTON CENTER - NEWBURGH, NY

Phone:(845) 561-3559

Proxy/Attny's Name:  
Address:

Phone:

Notify:ANTHONY COPPOLA

Phone:

Location:3250 RT. 9W

Acreage	Zoned	Prop-Class	Stage	Status
1.532	NC	0		0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
05/11/2006	NEWB			

Appl for:INCREASE IN PARING DUE TO NEW ADDITION TO THE EXISTING





RESULTS OF P.B. MEETING OF: April 26, 2006  
PROJECT: Silver, Forrester P.B. # 06-12

**NEGATIVE DEC:**

M) U S) M VOTE: A 5 N 0  
CARRIED: Y ✓ N    

CARRIED: Y ✓ N   

**CLOSED:**\_\_\_\_\_

SCHEDULE P.H.: Y \_\_\_\_\_ N ☒

SEND TO DEPT. OF TRANSPORTATION: Y ☒

VOTE: A\_\_\_\_\_N\_\_\_\_\_

Y\_N

M) .. S)\_\_\_\_\_ VOTE: A\_\_\_\_\_ N\_\_\_\_\_ APPROVED: \_\_\_\_\_

N\_\_\_\_\_

Correct Bulk Tables
Add Handicap Space
Detail closure of Entrance

Correct Bulk Tables  
Add Handicap Space  
Detail closure of Entrance



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

20 July 2006

New York State Department of Transportation  
Permit Inspection Unit Office  
112 Dickson Street  
Newburgh, New York 12550

ATT: Siby Mary Zachariah-Carbone, Permit Engineer, Orange County East

SUBJECT: NEW WINDSOR REALTY GROUP, LLC SITE PLAN  
NEW WINDSOR PLANNING BOARD NO. 06-18

Dear Ms. Zachariah-Carbone:

The Town of New Windsor Planning Board has received an application for site plan approval of a project located on NYS Route 32 within the Town. The Planning Board has determined that the applicant will be required to obtain a Highway Work Permit from your Department.

We are forwarding herewith a copy of the plan submitted with the application for your review and comment. We request that you notify the Planning Board of any concerns regarding this application, which should be considered by the Board during their review of the project.

It is not the intent that these plans be considered the plans required for the Permit application, as these will be the responsibility of the applicant following site plan approval from the Town.

We look forward to your input regarding this application before the Board.

Very truly yours,

TOWN OF NEW WINDSOR PLANNING BOARD

*Mark J. Edsall, P.E., P.P.*

Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW06-18-DOT Ref 07-20-06

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 04/20/2006

PAGE: 1


LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 6-12

NAME: SILVER, FORRESTER SITE PLAN PA2006-0094

APPLICANT: SILVER, FORRESTER, SCHISANO, LESSER

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/20/2006	REC. CK. #8510	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

  
4/21/06

**Town of New Windsor**  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#329-2006**

04/21/2006

Silver, Forrester & Schisano

Received \$ 125.00 for Planning Board Fees, on 04/21/2006. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

**Deborah Green**  
Town Clerk

fb ± 06-12 ✓



**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

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Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION**  
**RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: 06 12

WORK SESSION DATE: 21 June 06 PROJECT: NEW OLD X

REAPPEARANCE AT W/S REQUESTED: No RESUB. REQ'D: re plan

PROJECT NAME: Schisano

REPRESENTATIVES PRESENT: D. Brown C

MUNICIPAL REPS PRESENT: BLDG INSP. X FIRE INSP. X PB  
ENGINEER X PLANNER X  
P/B CHMN X OTHER X

ITEMS DISCUSSED:

2<sup>nd</sup> spaces are shown already

put rem  $\Rightarrow$  top / reed

add curb @ revised

entrance

add curb detail

My RA send  
revised plan to  
SIBU

STND CHECKLIST:

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

PROJECT STATUS:

ZBA Referral: Y X N

Ready For Meeting X Y N

Recommended Mtg Date try to  
6/29

PROJECT  
TYPE

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

**FIRE INSPECTOR'S  
INTER-OFFICE CORRESPONDENCE**

**TO: Genaro Argenio, Planning Board Chairman**

**FROM: Francis Bedetti, Asst. Fire Inspector**

**SUBJECT: PB-06-12  
Silver, Forrester, Etal  
SBL: 14-3-2**

**DATE: July 14, 2006**

**Fire Prevention Reference Number: FPS-06-035**

**A review of the above referenced site plan has been conducted and is acceptable.**



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

### PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #06-12 DATE RECEIVED: 07-12-06 TAX MAP #14-3-2

PLEASE RETURN COMPLETED FORM TO MYRA  
BY: 07-24-06 TO BE ON AGENDA FOR THE 07-26-06 PLANNING BOARD  
MEETING.

THE MAPS AND/OR PLANS FOR:

SILVER, FORRESTER, ETAL

Applicant or Project Name

RECEIVED

JUL 13 2006

N.W. HIGHWAY DEPT.

SITE PLAN XXX, SUBDIVISION \_\_\_\_\_, LOT LINE CHANGE \_\_\_\_\_,  
SPECIAL PERMIT \_\_\_\_\_

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

☐ DISAPPROVED:

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: \_\_\_\_\_

Reviewed by

date

*[Signature]* 7/25/06

**FIRE INSPECTOR'S  
INTER-OFFICE CORRESPONDENCE**

**TO:** Genaro Argenio, Planning Board Chairman

**FROM:** Francis Bedetti, Asst. Fire Inspector

**SUBJECT:** PB-06-12  
Silver, Forrester, Schisano  
SBL: 14-3-2

**DATE:** April 21, 2006

**Fire Prevention Reference Number: FPS-06-011**

A review of the above referenced Site Plan has been conducted and is acceptable.





**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

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mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

TOWN / VILLAGE OF:

New Windsor

P/B APP. NO.

1023  
06-12

WORK SESSION DATE:

5 April 06

PROJECT: NEW

X OLD

REAPPEARANCE AT W/S REQUESTED:

NO

RESUB. REQ'D:

Full App

PROJECT NAME:

Site Forerker Flp An

REPRESENTATIVES PRESENT:

Anthony C.

MUNICIPAL REPS PRESENT:

BLDG INSP.  
ENGINEER  
P/B CHMN

X

FIRE INSP.  
PLANNER  
OTHER

Barry

ITEMS DISCUSSED:

- For Lot. plan.
- add hand-drawn detail
- otherwise minor S/P An

STND CHECKLIST:

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

PROJECT  
TYPE

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral: Y N

Ready For Meeting Y N

Recommended Mtg Date next avail



McGOEY, HAUSER and EDSALL

CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

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e-mail: mhpea@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

TOWN/VILLAGE OF:

New Windsor

P/B APP. NO.:

100-3  
06-12

WORK SESSION DATE:

1 Mar 06

PROJECT: NEW

X OLD

REAPPEARANCE AT W/S REQUESTED:

Yes

RESUB. REQ'D:

Full App

PROJECT NAME:

Silver Foxster. - Add'n S/P Area

REPRESENTATIVES PRESENT:

Anthony Caputo

MUNICIPAL REPS PRESENT:

BLDG INSP.  
ENGINEER  
P/B CHMN

X

FIRE INSP.  
PLANNER  
OTHER

ITEMS DISCUSSED:

- 20' AS

change to 9x19 (25)

1/150 not 1/200

- 34 sp.

- Sprinkle 7000 SF

OK layout

STND CHECKLIST:

PROJECT  
TYPE

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral:

Y N

Ready For Meeting

Y X N

Recommended Mtg Date

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4695

## PLANNING BOARD APPLICATION

### TYPE OF APPLICATION (check appropriate item):

Subdivision \_\_\_\_\_ Lot Line Change \_\_\_\_\_ Site Plan ☒ Special Permit \_\_\_\_\_

Tax Map Designation: Sec. \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

**BUILDING DEPARTMENT PERMIT NUMBER** PA 2006 - 94

1. Name of Project SILVER, FORRESTER, SCHISANO & LESSER ADDITION

2. Owner of Record SILVER, FORRESTER, SCHISANO, LESSER & DAVID Phone 845-562-9020

Address: 3250 ROUTE 9W NEW WINDSOR NY 12553  
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Richard Schisano, Esq. Phone (845) 562-9020

Address: 3250 Route 9W, New Windsor, N.Y. 12553  
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Anthony J. Coppola, R.A. Phone 845-561-3559  
Coppola Associates

Address: 3 Washington Center, Maple Bldg., 2<sup>nd</sup> Floor, Newburgh,  
(Street Name & Number) (Post Office) (State) N.Y. (Zip) 12550

5. Attorney \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_  
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

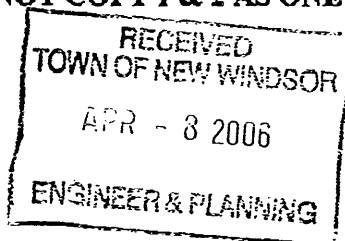
Anthony J. Coppola, R.A. 845-561-3559 845 561-2051  
(Name) (Phone) (fax)

7. Project Location: On the EAST side of ROUTE 9W BETWEEN LAUREL DRIVE & WALSH AVE  
(Direction) (Street)

8. Project Data: Acreage 1.532 Zone NC School Dist. NEWBURGH

PAGE 1 OF 2

( PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED )



06-12

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes \_\_\_\_\_ No X

\*This information can be verified in the Assessor's Office.

\*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) INCREASE THE NUMBER OF PARKING SPACES DUE TO A NEW ADDITION TO THE EXISTING BUILDING

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes \_\_\_\_\_ no \_\_\_\_\_

12. Has a Special Permit previously been granted for this property? yes \_\_\_\_\_ no \_\_\_\_\_

**IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.**

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

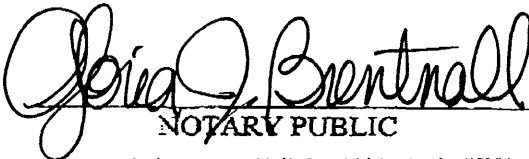
SWORN BEFORE ME THIS:

9<sup>th</sup> DAY OF January 2006



(OWNER'S SIGNATURE)

(AGENT'S SIGNATURE)

  
NOTARY PUBLIC

Anthony J. Coppola, R.A. of Coppola Associates

Please Print Agent's Name as Signed

GLORIA J. BRENTNALL

Notary Public, State of New York

No. 01BR6039818

Qualified in Orange County

Commission Expires April 10, 2006

RECEIVED  
TOWN OF NEW WINDSOR

APR - 8 2006

DATE APPLICATION RECEIVED  
ENGINEER & PLANNING

**06-12**

APPLICATION NUMBER

**AGENT/OWNER PROXY STATEMENT**  
**(for professional representation)**

for submittal to the:  
TOWN OF NEW WINDSOR PLANNING BOARD

SILVER, FORRESTER, SCHISANO, LESSER & DREYER, deposes and says that he resides  
(OWNER)

at 3250 ROUTE 9W, NEW WINDSOR, NY, 12553 in the County of ORANGE  
(OWNER'S ADDRESS)

and State of NEW YORK and that he is the owner of property tax map

(Sec. 14 Block 3 Lot 2)  
designation number (Sec. \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_) which is the premises described in  
the foregoing application and that he designates:

ANTHONY J. COPPOLA, R.A. OF COPPOLA ASSOCIATES  
(Agent Name & Address)

3 WASHINGTON CENTER, MAPLE BUILDING, 2ND FLOOR, NEWBURGH, NY, 12550  
(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR  
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.**

SWORN BEFORE ME THIS:

\*\*

  
Owner's Signature (MUST BE NOTARIZED)

9<sup>th</sup> DAY OF January 2006

Agent's Signature (if Applicable)

  
NOTARY PUBLIC

  
Professional Representative's Signature

**\*\* PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**


**THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER**

GLORIA J. BRENTNALL  
Notary Public, State of New York  
No. 01BR6039818  
Qualified in Orange County  
Commission Expires April 10, 2006

06-12

**TOWN OF NEW WINDSOR PLANNING BOARD  
SUBDIVISION/LOT LINE CHANGE CHECKLIST**

The following checklist items shall be incorporated on the Subdivision Plan prior to consideration for being placed on the Planning Board Agenda:

1.   X   Name and address of Applicant.
- \* 2.   X   Name and address of Owner.
3.            Subdivision name and location
4.   X   Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval.  
**(ON ALL PAGES OF SUBDIVISION PLAN)**  
  
SAMPLE: 
5.   X   Tax Map Data (Section, Block & Lot).
6.   X   Location Map at a scale of 1" = 2,000 ft.
7.   X   Zoning table showing what is required in the particular zone and what applicant is proposing.
8.            Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
9.   X   Date of plat preparation and/or date of any plat revisions.
10.   X   Scale the plat is drawn to and North arrow.
11.   X   Designation (in title) if submitted as sketch plan, preliminary plan or final plan.
12.            Surveyor's certificate.
13.            Surveyor's seal and signature.
14.            Name of adjoining owners.
- Wetlands and 100 foot buffer zone with an appropriate note regarding DEC requirements.
- \* 16.            Flood land boundaries.
17.            A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.

18.   X   Final metes and bounds.
19.   X   Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street.
20.   X   Include existing or proposed easements.
21.   X   Right-of-way widths.
22.   X   Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
23.   X   Lot area (in square feet for each lot less than 2 acres).
24.   X   Number the lots including residual lot.
25.            Show any existing waterways.
- \*26.            A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
27.            Applicable note pertaining to owner's review and concurrence with plat together with owners signature.
28.            Show any existing or proposed improvements, i.e., drainage systems, water lines, sewer lines, etc. (including location, size and depths).
29.            Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.
30.            Show all and proposed on-site A septic system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
31.            Provide A septic system design notes as required by the Town of New Windsor.
32.   X   Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
33.            Indicate percentage and direction of grade.
34.            Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
35.            Indicate location of street or area lighting (if required).

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

36. \_\_\_\_\_ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
37. \_\_\_\_\_ A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasor shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

**PREPARER'S ACKNOWLEDGMENT:**

THE PLAT FOR THE PROPOSED SUBDIVISION HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: \_\_\_\_\_

Licensed Professional

1/9/06  
Date

## ## ## ## ##

**PLEASE NOTE:**

## ## ## ## ##

**THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.**



**TOWN OF NEW WINDSOR PLANNING BOARD**

**SITE PLAN CHECKLIST**

**ITEM**

1.     X     Site Plan Title
2.     X     Provide 4" wide X 2" high box **(IN THE LOWEST RIGHT CORNER OF THE PLAN)** for use by Planning Board in affixing Stamp of Approval (ON ALL PAGES OF SITE PLAN).

**SAMPLE:**



3.     X     Applicant's Name(s)
4.     X     Applicant's Address
5.     X     Site Plan Preparer's Name
6.     X     Site Plan Preparer's Address
7.     X     Drawing Date
8.            Revision Dates
9.     X     Area Map Inset and Site Designation
10.            Properties within 500' of site
11.     X     Property Owners (Item #10)
12.     X     Plot Plan
13.     X     Scale (1" = 50' or lesser)
14.     X     Metes and Bounds
15.     X     Zoning Designation
16.     X     North Arrow
17.            Abutting Property Owners
18.     X     Existing Building Locations
19.     X     Existing Paved Areas
20.            Existing Vegetation
21.     X     Existing Access & Egress

### PROPOSED IMPROVEMENTS

- |     |                      |                                     |
|-----|----------------------|-------------------------------------|
| 22. | <u>          </u>    | Landscaping                         |
| 23. | <u>          </u>    | Exterior Lighting                   |
| 24. | <u>          </u>    | Screening                           |
| 25. | <u>      X      </u> | Access & Egress                     |
| 26. | <u>      X      </u> | Parking Areas                       |
| 27. | <u>          </u>    | Loading Areas                       |
| 28. | <u>      X      </u> | Paving Details (Items 25 - 27)      |
| 29. | <u>          </u>    | Curbing Locations                   |
| 30. | <u>          </u>    | Curbing through section             |
| 31. | <u>          </u>    | Catch Basin Locations               |
| 32. | <u>          </u>    | Catch Basin Through Section         |
| 33. | <u>          </u>    | Storm Drainage                      |
| 34. | <u>          </u>    | Refuse Storage                      |
| 35. | <u>          </u>    | Other Outdoor Storage               |
| 36. | <u>          </u>    | Water Supply                        |
| 37. | <u>          </u>    | Sanitary Disposal System            |
| 38. | <u>          </u>    | Fire Hydrants                       |
| 39. | <u>      X      </u> | Building Locations                  |
| 40. | <u>      X      </u> | Building Setbacks                   |
| 41. | <u>          </u>    | Front Building Elevations           |
| 42. | <u>          </u>    | Divisions of Occupancy              |
| 43. | <u>          </u>    | Sign Details                        |
| 44. | <u>      X      </u> | Bulk Table Inset                    |
| 45. | <u>      X      </u> | Property Area (Nearest 100 sq. ft.) |
| 46. | <u>      X      </u> | Building Coverage (sq. ft.)         |
| 47. | <u>      X      </u> | Building Coverage (% of total area) |
| 48. | <u>      X      </u> | Pavement Coverage (sq. ft.)         |
| 49. | <u>      X      </u> | Pavement Coverage (% of total area) |
| 50. | <u>          </u>    | Open Space (sq. ft.)                |
| 51. | <u>          </u>    | Open Space (% of total area)        |
| 52. | <u>      X      </u> | No. of parking spaces proposed      |
| 53. | <u>      X      </u> | No. of parking spaces required      |

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. \_\_\_\_\_ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
55. \_\_\_\_\_ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

**PREPARER'S ACKNOWLEDGMENT:**

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: \_\_\_\_\_

Licensed Professional

Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

**PLEASE NOTE:**

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

**THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.**

2001054  
"XX"

## ATTACHMENTS


- A. Flood Hazard Area Development Permit Application Form.
- B. Certificate of Compliance ☒

PLEASE NOTE: IF PROPERTY IS NOT IN A FLOOD ZONE, PLEASE INDICATE THAT ON THIS FORM AND SIGN YOUR NAME. RETURN FORM WITH PLANNING BOARD APPLICATION.

IF PROPERTY IS LOCATED IN A FLOOD ZONE, PLEASE COMPLETE THE ATTACHED (LEGAL SIZE) PAPERS AND RETURN WITH PLANNING BOARD APPLICATION.

I affirm that this property is  
not in a flood zone.

Dated: 1/9/06

Signed: 

06-12

PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

**SHORT ENVIRONMENTAL ASSESSMENT FORM**

For UNLISTED ACTIONS Only

**PART I—PROJECT INFORMATION** (To be completed by Applicant or Project sponsor)

1. APPLICANT / SPONSOR <u>SILVER, FORRESTER, SCHISANO, LESSER &amp; PRYER</u>	2. PROJECT NAME <u>SILVER, FORRESTER, SCHISANO &amp; LESSER ADDITION</u>
3. PROJECT LOCATION: Municipality <u>Town of New Windsor</u> County <u>COUNTY OF ORANGE</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>EAST SIDE OF ROUTE 9W BETWEEN LAUREL DRIVE AND WALSH AVE.</u>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>INCREASE THE NUMBER OF PARKING SPACES DUE TO A NEW ADDITION TO THE EXISTING BUILDING</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>1.532</u> acres Ultimately <u>1.532</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approval	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Richard Schisano, Esq.</u>	Date: <u>1/9/06</u>
Signature: <u>[Signature]</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

## PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.  
☐ Yes ☒ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.  
☐ Yes ☐ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:  
 No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:  
 No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:  
 No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:  
 No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:  
 No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:  
 No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:  
 No

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?  
☐ Yes ☒ No If Yes, explain briefly

## PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

\_\_\_\_\_  
 Name of Lead Agency

\_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Title of Responsible Officer

\_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Signature of Preparer (If different from responsible officer)

\_\_\_\_\_  
 Date



1. Proposed use is for Group B – Office for the New Addition.
2. Type of construction is Type VB.
3. According to Table 503, the maximum number of stories for Office is 2. Maximum fire area is 9,000 SF.
4. As per Table 1003.2.2.2, maximum floor area allowance per occupant is 100 SF for grade floor. Square footage for the New 1<sup>st</sup> floor Addition is 619 Sf = 6 occupants.
5. As per section 903 a sprinkler system is not required.
6. As per the Town of New Windsor sprinkler ordinance, this building is less than 5,000 Sf and does not need an automatic sprinkler system.
7. As per Table 1607.1, the minimum uniformly distributed live load is 50 psf for office occupancy.
8. Section K307 Classification of Work is Addition and shall comply with the provisions of Chapter K.9.

### General Conditions

1. The Contractor is expected to familiarize himself with the existing site before starting work. All dimensions shall be verified in the field before starting work. No drawings are to be scaled, use only dimensions given. Any other discrepancies shall be brought to the immediate attention of the Architect. Any existing structural deficiency uncovered during the course of construction shall be brought to the immediate attention of the Architect.
2. All work shall be done by people skilled in their trades and shall conform to the N.Y.S. Building Code, and any other applicable state and local codes. All items shall be installed in strict conformance with the Manufacturer's requirements where applicable. Unauthorized alteration of any drawings bearing a registered Architect's seal is a violation of the N.Y.S. Education Law. The Contractor is responsible to obtain any required construction permits before starting work, and to schedule any required inspections with the building department.
3. The Contractor shall warranty any work for a minimum period of one year (upon completion), unless otherwise noted. The Contractor shall provide for all labor, materials, equipment, protection, and other means necessary to complete this scope of work as shown on these drawings. The contractor shall remove all debris created by his scope of work and shall leave the site broom clean upon completion.
4. For all foundation and concrete work use 3500 psi or greater. All other nails, fasteners, hangers, etc., shall meet generally accepted industry standards. Use joist hangers for any lumber framed flush with a beam. Use only galvanized items for exterior use.
5. For all staircases greater than two risers, provide a continuous handrail at 34" above the treads. Use only 7" max. risers, and 11" min. treads + 1 1/4" nosing. For all landings provide a continuous handrail at 42" above the landing.
6. All items not specifically noted in these plans including: cabinets, floor finishes, paint, finish carpentry, electrical light fixtures, etc., shall be discussed and noted with the owners before beginning the work.
7. All openings in walls, floors, roof, etc., shall be located and sited as per the mechanical requirements whether they are shown on the drawings or not.
8. Coordination: Coordinate scheduling, submittals, and Work of the various Sections of specifications to assure efficient and orderly sequence of installation of interdependent construction elements. Coordinate space requirements and installation of mechanical and electrical work which are indicated diagrammatically on Drawings. In finished areas, conceal pipes, ducts, and wiring within the construction.

All interior finishes must be Class "A" or "B" with a minimum surface flame spread rating of 75 or less

### Heating and Cooling:

1. The Owner's Contractor shall provide for a new forced air heating, cooling and ventilation system as follows:
- Provide a forced air system to cool and ventilate using a separate exterior air cooled condensing unit.
  - Confirm net output of unit is capable to heat all areas where indicated in building to 68 degrees F. inside, at an exterior temperature of 0 degrees F.
  - Confirm net output of unit is capable to cool all areas where indicated in building to 75 degrees F. inside, at an exterior temperature of 90 degrees F.
  - Provide and install all equipment, ductwork, diffusers, returns, etc., to finish a complete working system. Provide dampers through all fire walls. All return air shall be ducted. System must be balanced upon completion.
  - All occupied and habitable spaces must be provided with mechanical ventilation rates to conform with ASHRAE
  - Electrical panel shall be sized to accommodate all required equipment loads.

### Schedule Of Architectural Drawings:

## SP1 Site Plan & Notes

## SP2 Site Plan Details

## A1 General Notes & Details

## A2 Foundation Plan and Section

### A3 First and Second Floor Plan

## A4 Elevations

FASTENING SCHEDULE		
CONNECTION	FASTENING**	LOCATION
1. Joint to sill or girder	3 - 8d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	toe/nail
2. Bridging to joist	2 - 8d common 2 - 3" x 0.131" nail 2 - 3" 14 gage staple	toe/nail each end
3. 1" x 6" subfloor or less to each joist	2 - 8d common	face nail
4. Wider than 1" x 6" sub-floor to each joist	3 - 8d common	face nail
5. 2" subfloor to joist or girder	2 - 16d common 16d at 16" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 12" o.c.	blind and face nail  typical face nail
6. Sole plate to joint or blocking	3 - 16d common 3" x 0.131" nail at 16" 3" 14 gage staple per 16"	braced wall panels
Sole plate to joint or blocking at braced wall panel	2 - 16d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	
7. Top plate to stud	4 - 8d common 4 - 3" x 0.131" nail 3 - 3" 14 gage staple	end nail
8. Stud to sole plate	4 - 8d common 4 - 3" x 0.131" nail 3 - 3" 14 gage staple	toe/nail
9. Double studs	2 - 16d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	end nail
10. Double top plates	16d at 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c. 16d at 16" o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c.	face nail  typical face nail
Double top plates	8 - 16d common 12 - 3" x 0.131" nail 12 - 3" 14 gage staple typical face nail	lap splice
11. Blocking between joists or refers to top plate	3 - 8d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	toe/nail
12. Rim joist to top plate	8d at 6" (152 mm) o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toe/nail
13. Top plates, laps and intersections	2 - 16d common 3" x 0.131" nail 3 - 3" 14 gage staple	face nail
14. Continuous header, two pieces	16d common	16" o.c. along edge
15. Ceiling joists to plate	3 - 8d common 5 - 3" x 0.131" nail 5 - 3" 14 gage staple	toe/nail
16. Continuous header to stud	4-8d common	toe/nail

CONNECTION	FASTENING**	LOCATION
17. Ceiling joists, laps over partitions (See Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common minimum, Table 2308.10.4.1 4 - 3" x 0.131" nail 4 - 3" 14 gage staple	face nail
18. Ceiling joists to parallel rafters (See Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common minimum, Table 2308.10.4.1 4 - 3" x 0.131" nail 4 - 3" 14 gage staple	face nail
19. Rafter to plate (See Section 2308.10.1, Table 2308.10.1)	3 - 8d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	toe/nail
20. 1" diagonal brace to each stud and plate	2 - 8d common 2 - 3" x 0.131" nail	face nail
21. 1" x 8" sheathing to each bearing wall	2 - 8d common 3 - 8d common	face nail
22. Wider than 1" x 8" sheathing to each bearing wall	16d common 3" x 0.131" nail 3" 14 gage staple	16" o.c. 16" o.c.
23. Built-up corner studs	20d common 72" o.c. 3" x 0.131" nail at 24" o.c. 3" 14 gage staple at 24" o.c.	face nail at top and bottom staggered on opposite sides
24. Built-up girder and beams	2 - 20d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	face nail at ends and at each splice
25. 2" planks	16d common	at each bearing
26. Collar tie to rafter	3 - 10d common 4 - 3" x 0.131" nail 4 - 1" 14 gage staple face nail	face nail
27. Jack rafter to hip	3 - 10d common 4 - 3" x 0.131" nail 4 - 3" 14 gage staple 2 - 16d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	toe/nail face nail
28. Roof rafter to 2-by ridge beam	2 - 16d common 3 - 3" x 0.131" nail 3 - 3" 14 gage staple	face nail
29. Joist to band joist	3 - 16d common 5 - 3" x 0.131" nail 5 - 3" 14 gage staple	face nail
30. Ledger strip	3 - 16d common 4 - 3" x 0.131" nail 4 - 3" 14 gage staple	face nail

CORRECTION	FASTENING <sup>a,b</sup>	LOCATION
31. Wood structural panels and particleboard <sup>b</sup> Subfloor, roof and wall sheathing (to framing)	$1/2"$ and less $2 \ 3/4" \times 0.113"$ nail <sup>c</sup> $1 \ 3/4", 16$ gage <sup>d</sup> $8d$ or $6d$ $2 \ 3/4" \times 0.113"$ nail <sup>c</sup> $2"$ 16 gage <sup>d</sup> $8d$	
Single Floor (combination subfloor-underlayment to framing)	$1/4"$ to $1"$ $1 \ 3/4" \times 1 \ 3/8"$ $3/4"$ and less $3/4"$ to $1"$ $1 \ 3/4" \times 1 \ 3/8"$	$10d$ or $8d$ <sup>e</sup> $6d$ <sup>e</sup> $8d$ <sup>e</sup> $10d$ or $8d$ <sup>e</sup>
32. Panel siding (to framing)	$3/16"$ or less $3/4"$	$6d$ $8d$
	$1/2"$	No. 11 gage roofing nail <sup>f</sup>
33. Fiberglass sheathing <sup>g</sup>	$23/32"$	$6d$ common nail No. 16 gage staple <sup>h</sup> No. 11 gage roofing nail <sup>f</sup> $8d$ common nail No. 16 gage staple <sup>h</sup>
34. Interior paneling	$1/2"$ $3/8"$	$6d$ $8d$

[illegible]

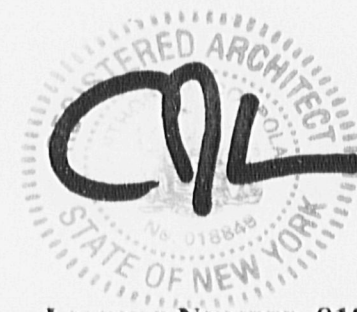
APPROVAL GRANTED BY TOWN OF NEW WINDSOR

FEB - 2 2007  
 By: George A. Davis, Jr.  
 By: Joel Schiller

COPPOLASSOCIATES

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**LICENSE NUMBER: 018849**

<sup>o</sup> Addition at the Law Offices of

**Silver, Forrester,  
Schisano, Lesser &  
Dreyer**

3250 Route 9W  
New Windsor, NY

## GENERAL NOTES & DETAILS

DATE \_\_\_\_\_

7/17/06

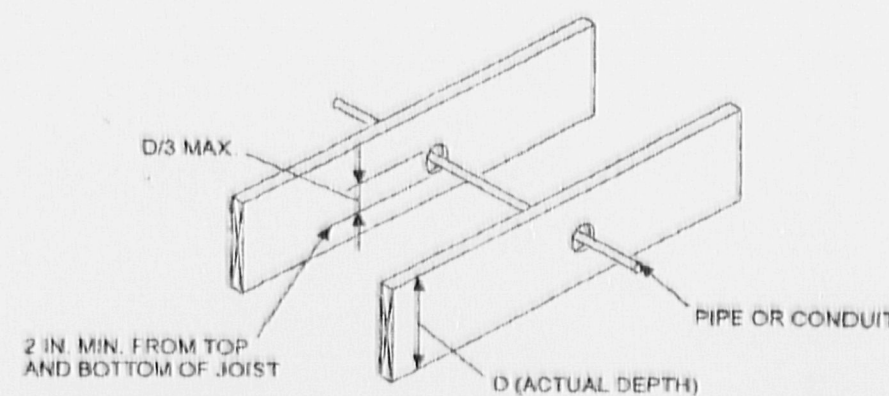
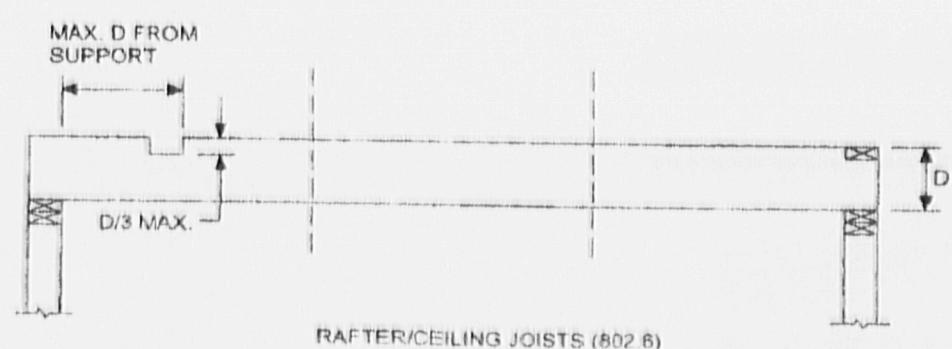
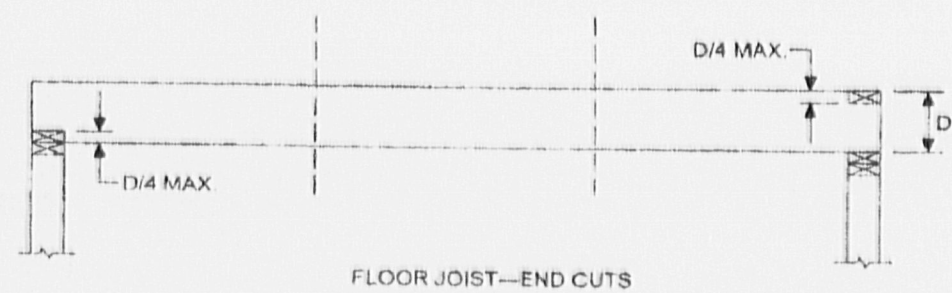
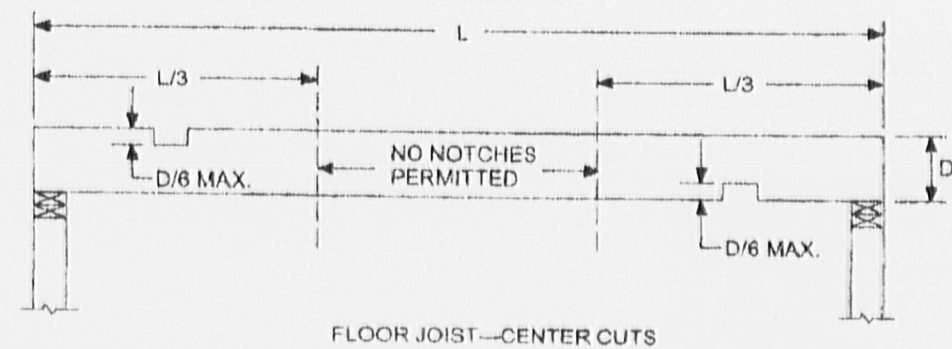
PROJECT NUMBER

05-106

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## Cutting, Notching and Drilling

## Nailing Schedule

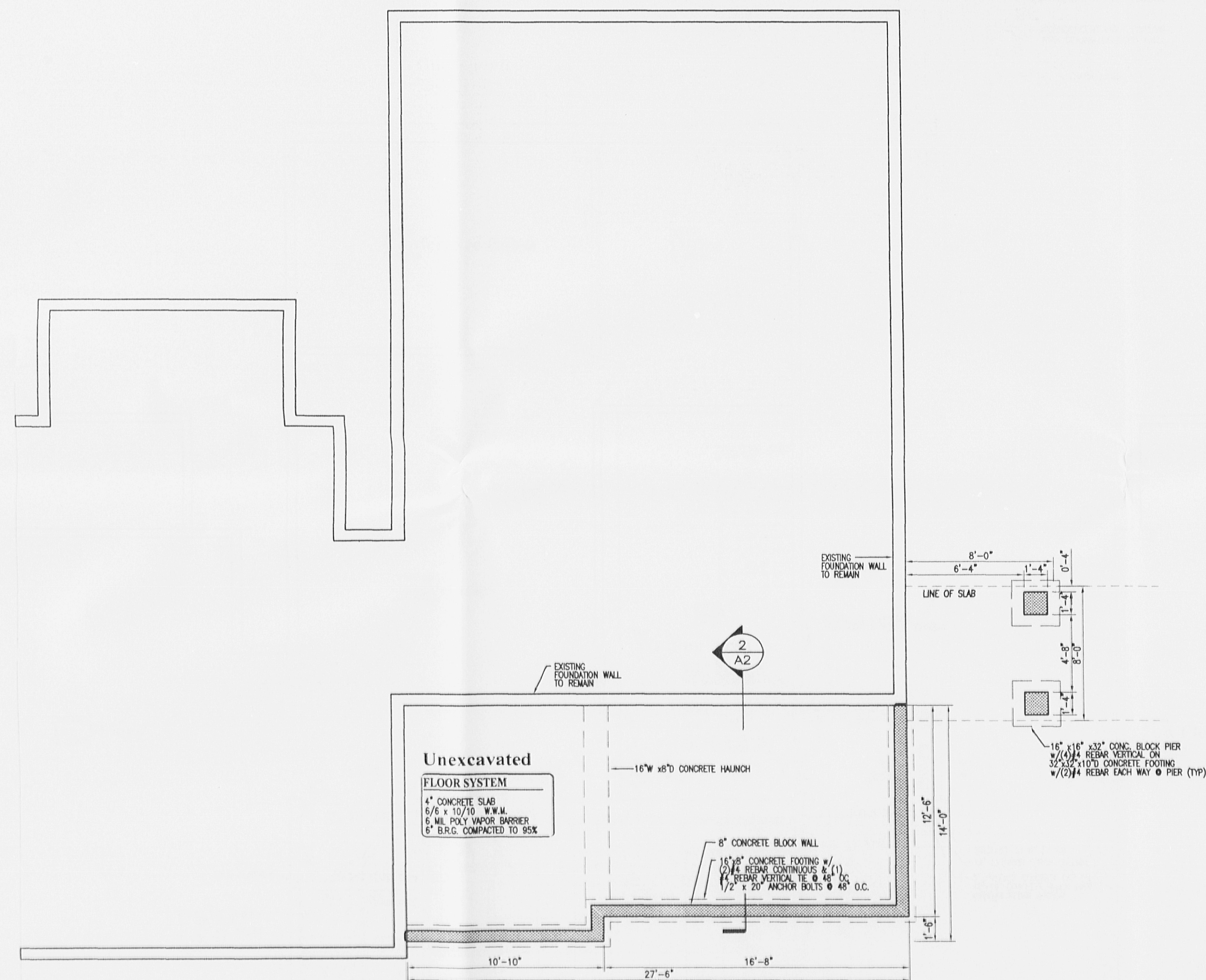
FEB - 2 2007  
 By: Robert A. Davis, Jr.  
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of 6

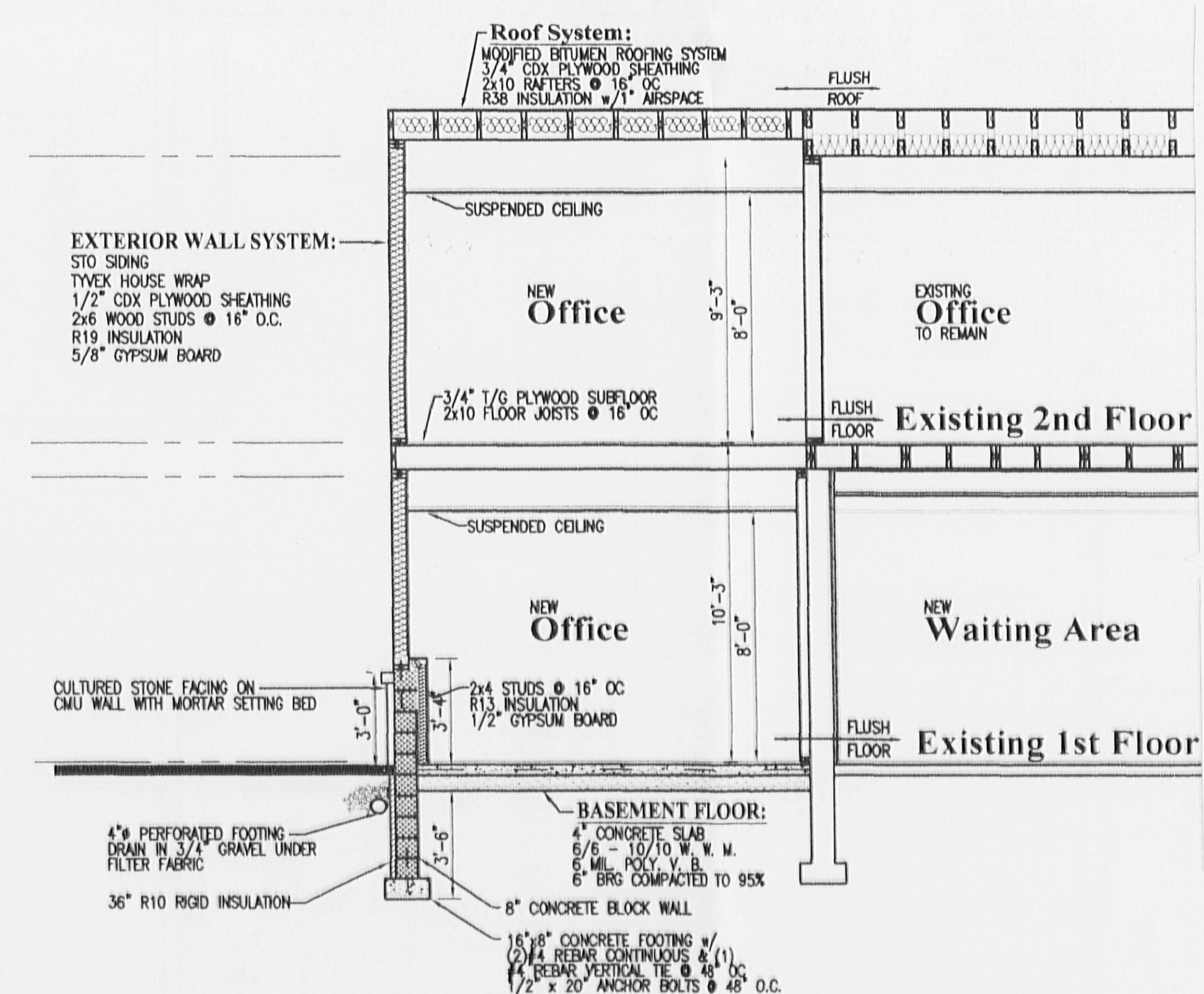


1. **GENERAL:** SECTION INCLUDES - Demolish all items as shown on the plans and as listed below:
  - All walls, partitions, suspended ceilings, flooring, ceramic tile, etc.
  - All masonry as indicated.
  - Doors where indicated.
  - All existing plumbing fixtures, and the supply, vent, and waste lines which are connected to them.
  - All existing electrical wiring, outlets, fixtures, switches, wires, etc.
  - All existing HVAC items as indicated on the mechanical drawings.
2. **PREPARATION**
  - Provide, erect, and maintain temporary barriers and security devices.
  - Disconnect all utilities as required.
  - Protect existing items and surfaces which are not to be demolished..
3. **DEMOLITION REQUIREMENTS**
  - Conduct demolition to minimize interference with adjacent spaces.
  - Conduct operations with minimum interference to existing facility.
  - Maintain protected egress and access at all times.
  - Terminate and remove all existing plumbing lines in an orderly fashion.
  - Repair adjacent construction and finishes damaged during removal of existing work
  - Contractor shall be responsible to reroute any existing electrical or plumbing lines hidden in existing walls to be removed, that will be in use.
  - Contractor shall salvage any removed items at the owner's request.
4. **ELECTRICAL DEMOLITION REQUIREMENTS**
  - Remove, relocate, and repair existing installations to accommodate new construction.
  - Remove abandoned wiring to source of supply.
  - Remove exposed abandoned conduit and boxes, including abandoned conduit above accessible ceiling finishes.)
  - Disconnect abandoned outlets and remove devices.
  - Disconnect and remove abandoned panelboards and distribution equipment.
  - Disconnect and remove electrical devices and equipment serving utilization equipment that has been removed.
  - Disconnect and remove abandoned luminaires, brackets, stems, hangers, and other accessories.
  - Repair adjacent construction and finishes damaged during removal of existing electrical work.
  - Maintain access to existing, active electrical installations.
5. **CLEAN UP**
  - Remove demolished materials from site as work progresses.
  - Leave areas of work in clean condition.
6. **HAZARDOUS MATERIALS:**

The Owner shall be responsible for the identification and removal of any hazardous materials on the jobsite. The Contractor shall be responsible to coordinate any abatement work with the completion of the work in his scope.



**1** Foundation Plan  
**A2** Scale: 1/4"=1'-0"



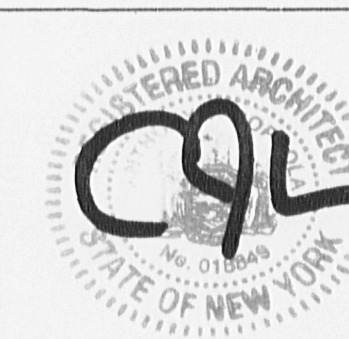
**2** Section  
A2 Scale: 1/4"=1'-0"

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

By: \_\_\_\_\_  
By: \_\_\_\_\_  
John S. S. Secretary

◊Design, Architecture &amp; Planning◊

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° Addition at the Law Offices of

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3250 Route 9W  
New Windsor, NY

## FOUNDATION PLAN AND SECTION

## REVISIONS

DATE \_\_\_\_\_

7/17/06

PROJECT NUMBER

05-106

SHEET NUMBER

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# ELECTRICAL LEGEND

- HARD WIRED SMOKE DETECTOR
- HARD WIRED CO DETECTOR
- SINGLE POLE LIGHT SWITCH
- 3 WAY LIGHT SWITCH
- 4 WAY LIGHT SWITCH
- DUPLEX RECEPTACLE
- DUPLEX SPLIT RECEPTACLE
- GROUND FAULT RECEPTACLE
- 220 VOLT RECEPTACLE
- INCANDESCENT LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE WITH CEILING MOUNTED FAN
- EXIT SIGN
- EMERGENCY LIGHT
- TRACK LIGHTS

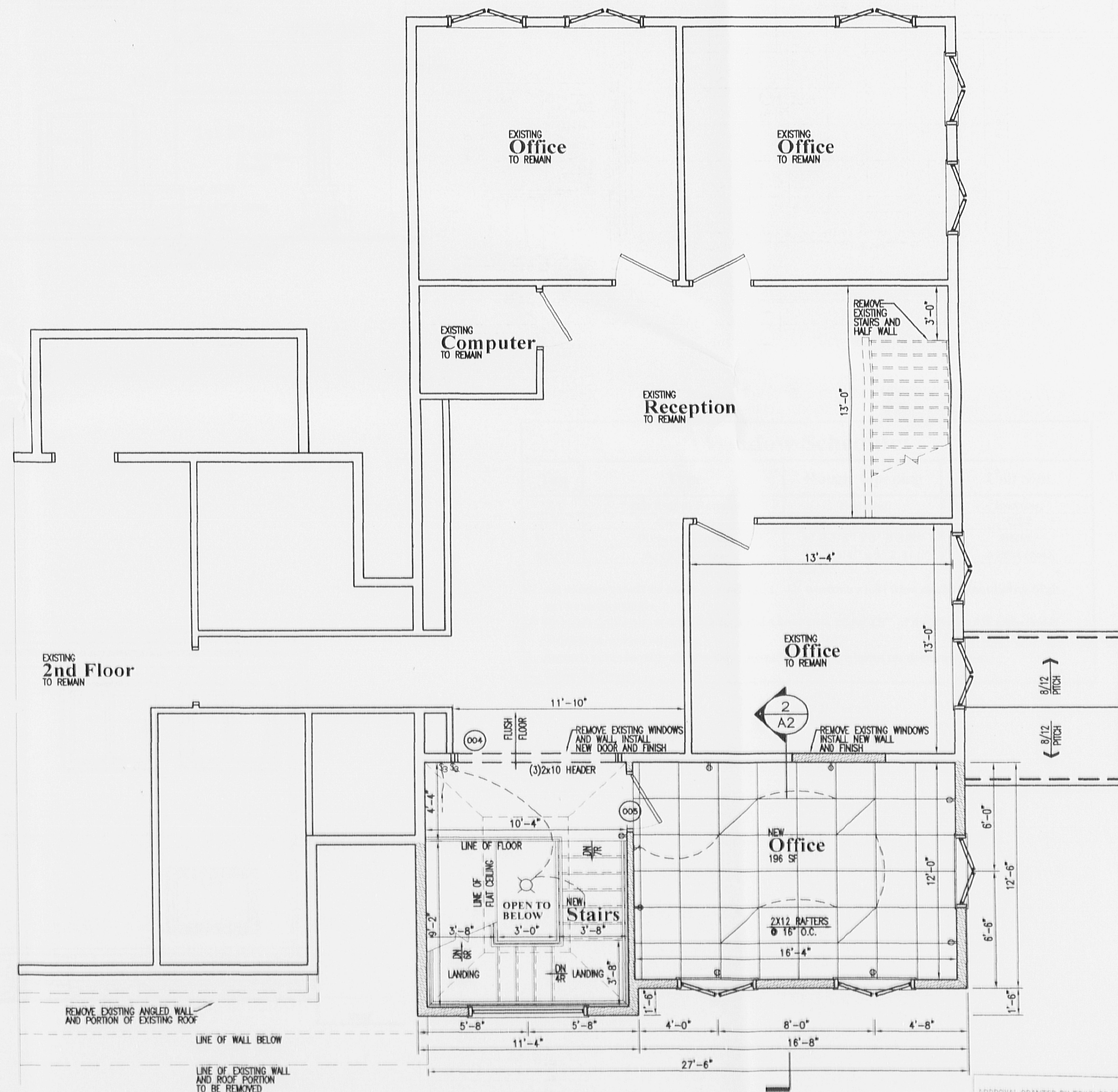
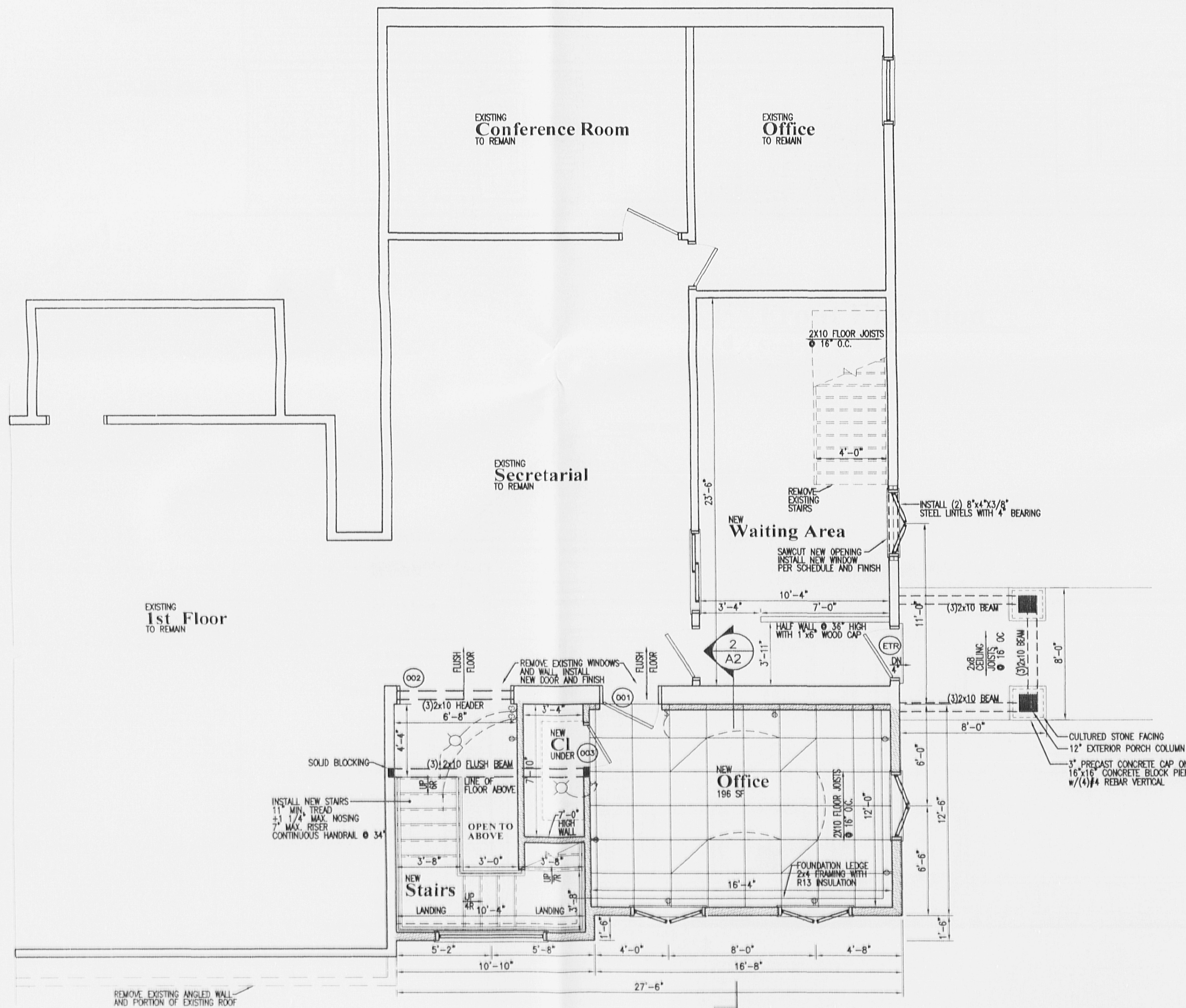
# DOOR SCHEDULE

MARK	Style	DOOR SIZE		Fire Rating
		WD	HGT	
001	Hinged - Single	3'-0"	6'-8"	--
002	Cased Opening	6'-0"	6'-8"	--
003	Hinged - Single	2'-6"	6'-8"	--
004	Cased Opening	8'-0"	6'-8"	--
005	Hinged - Single	3'-0"	6'-8"	--

- Class C doors to be 3/4 hour rated doors and frames with self closing hinges.
- Exterior door types shall be as shown on the elevation drawings.
- Confirm all door types with Owner before construction.
- All jamb sizes to be verified in the field by the Contractor.

# WALL LEGEND

- NEW WALLS TO BE INSTALLED
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED



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Addition at the Law Offices of

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3250 Route 9W  
 New Windsor, NY

FIRST AND  
 SECOND FLOOR  
 PLANS

REVISIONS

DATE

7/17/06

PROJECT NUMBER

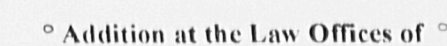
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**A3**

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3250 Route 9W  
New Windsor, NY

## REVISIONS

DATE \_\_\_\_\_

7/17/06

PROJECT NUMBER \_\_\_\_\_

PROJECT NUMBER \_\_\_\_\_

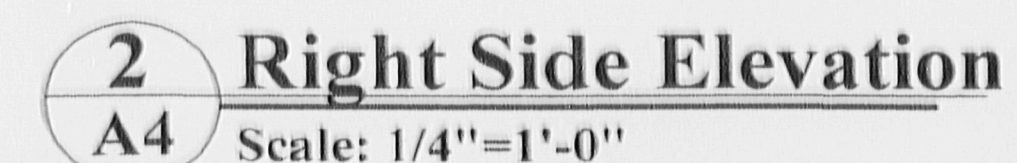
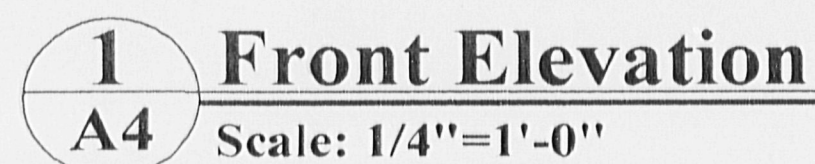
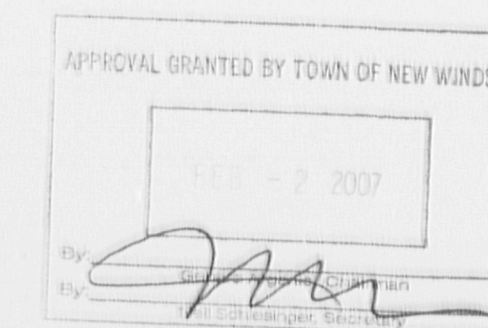
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05-100

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Tag	Type	Rough Opening	Unit Size
ETR	Existing to Remain	Existing	Existing
W84	Casement	4'-0" 1/2" X 4'-0" 1/2"	C24
W143	Picture Window	6' 0" 3/8" x 3' 5" 3/8"	P6035
W578	Arch Window	5' 11" 3/4" x 5' 2" 1/4"	ΔFFW6045

1. All windows shall be made by Andersen. All windows shall have double- insulating high performance glass.
2. Keep all casement and double-hung windows sills above 18" of the floor. All patio doors shall have tempered glass.
3. Include screens with all windows, install grilles as shown on the drawings.
4. Color by Owner.





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Addition at the Law Offices of

Silver, Forrester,  
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Dreyer

New Windsor, NY

SITE PLAN AND  
NOTES

REVISIONS

DATE

8/17/06

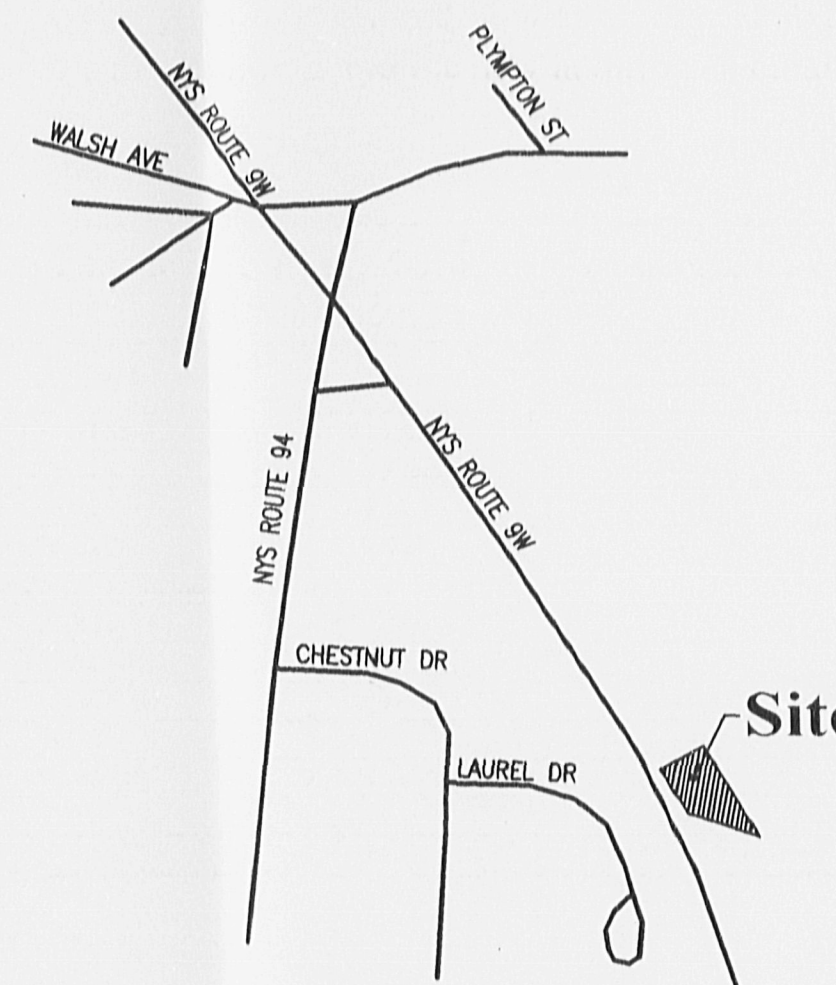
PROJECT NUMBER

05-106

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2 Location Map  
SP1 Scale: N.T.S.

Site Plan Notes:

1. This project is for a proposed new addition to the existing Law Offices of Silver, Forrester, Schisano & Lesser, 3250 Route 9W, New Windsor, N.Y. The existing square footage is 4,331. The proposed new addition square footage is 619. The total new square footage is 4,950.
2. The project applicant is Silver, Forrester, Schisano & Lesser, P.O. Box 2265, 328 Route 9w, New Windsor, N.Y.
3. Boundary, and Lot information from a survey by A.R. Sparaco, Jr., P.L.S., Marlboro & Suffern, N.Y., Dated July 17, 1988.
4. Off street parking for existing building and the new addition calculated at 1 space per 150 SF.

Bulk Table Requirements for NC (Neighborhood Commercial) Zoning District

Town of New Windsor, N.Y.				
Requirements	Required	Existing	Proposed	Variance
Minimum Lot Size	10,000 SF	1,532 Acre	---	---
Lot Width	100 feet	219.40 feet	---	---
Front Yard Setback	40 feet	22 feet *	---	---
Rear Yard Setback	15 feet	119 feet	---	---
Side Yard Setback	15 feet/ 35 feet combined	9 feet */ 178 feet	---	---
Max. Building Height	35 feet	< 35 feet	---	---
Required Street Frontage	N/A	N/A	---	---
Floor Area Ratio	1.00	0.07	---	---
Max. Development Cov.	85%	20%	---	---
Parking Space Size	9'-0" x 19'-0"	9'-4" x 19'-0"	---	---
Required LC Parking	2	2	---	---
Required Parking	33	27*	33	---

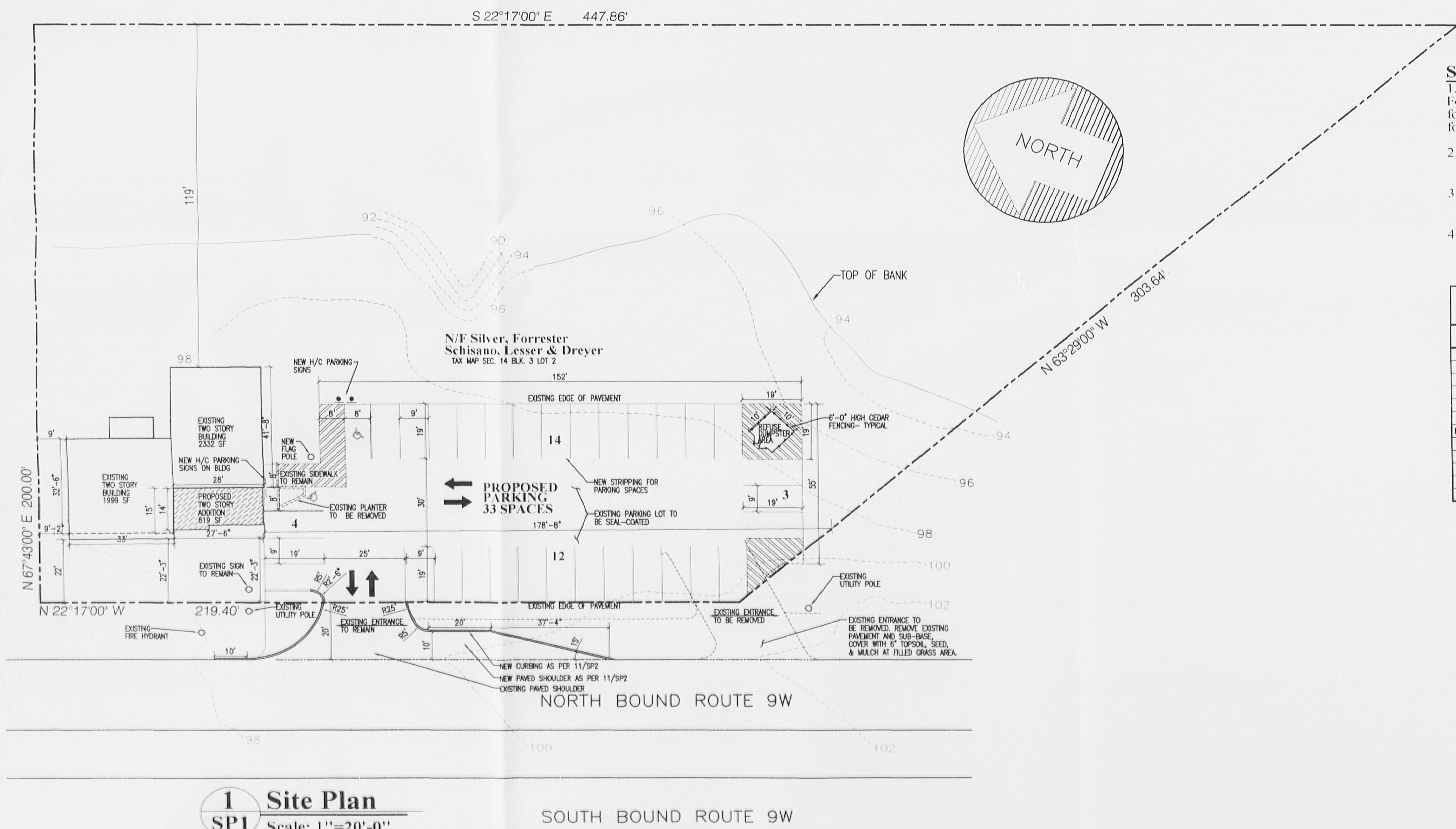
\* Non-Conforming Existing Condition

Parking Calculation

Building	Square Feet	New Office Addition Parking @ 1/150 s.f.
Existing Building	4331	29
New Addition	619	4
Total	4950	33
Proposed		33

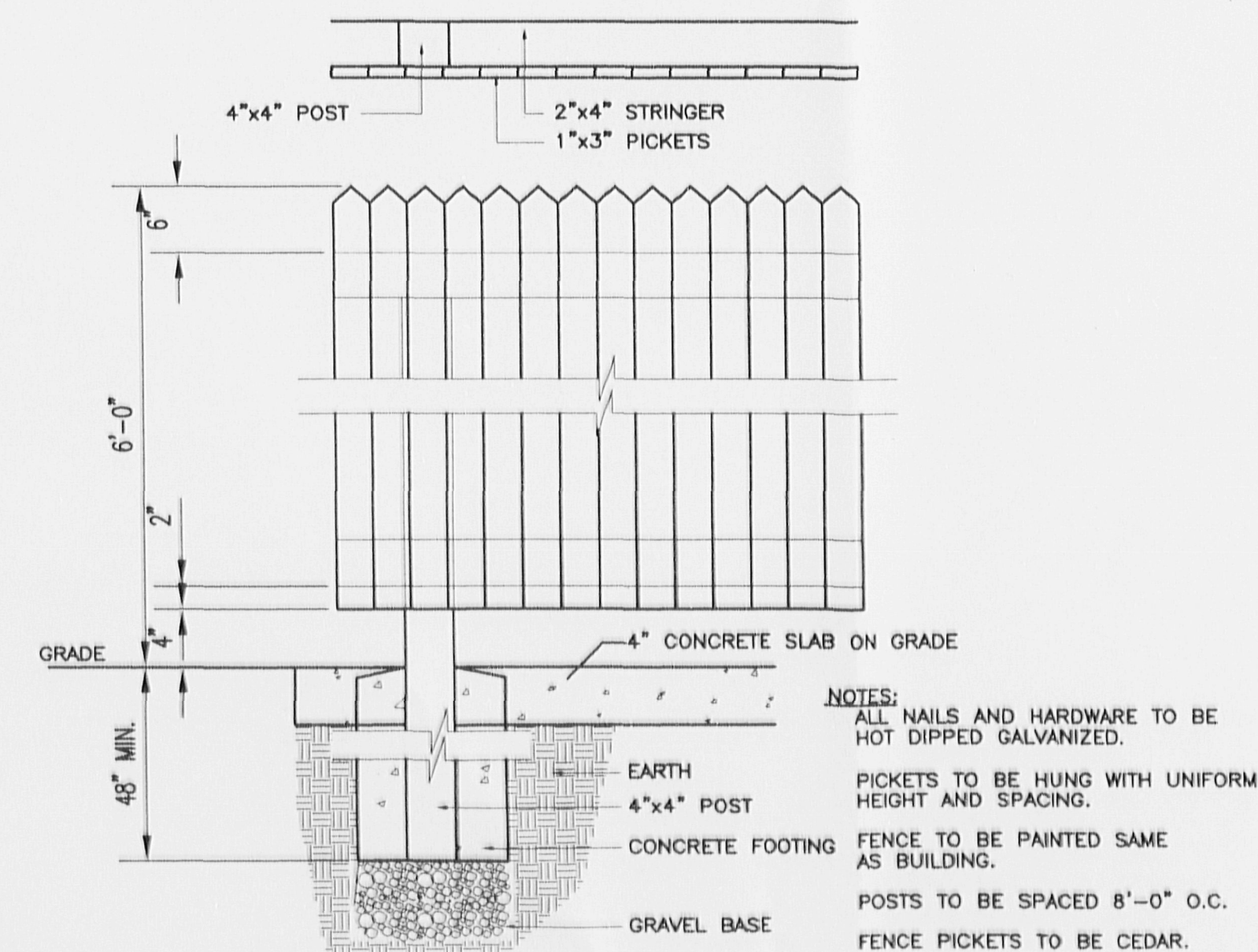
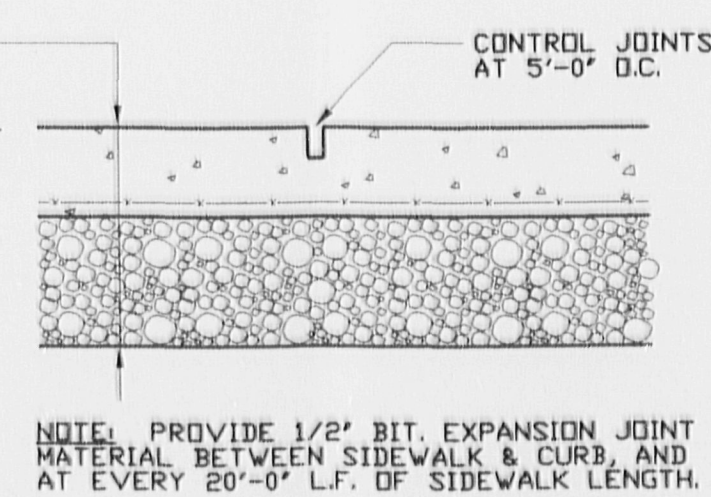
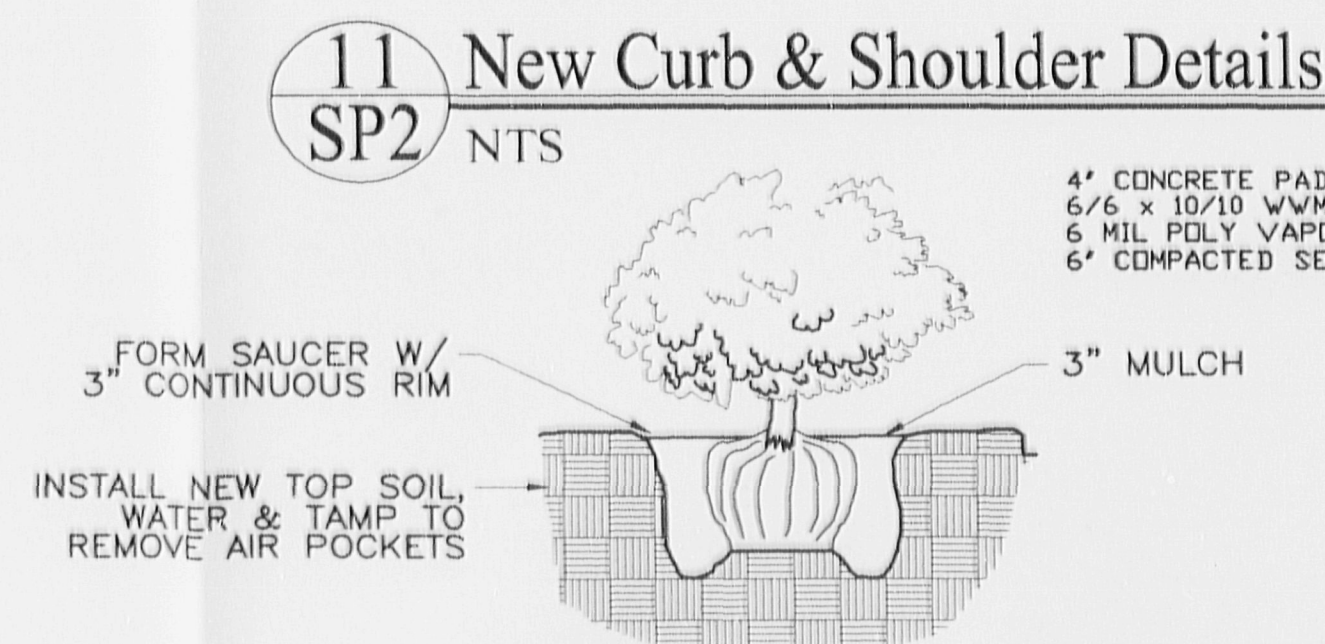
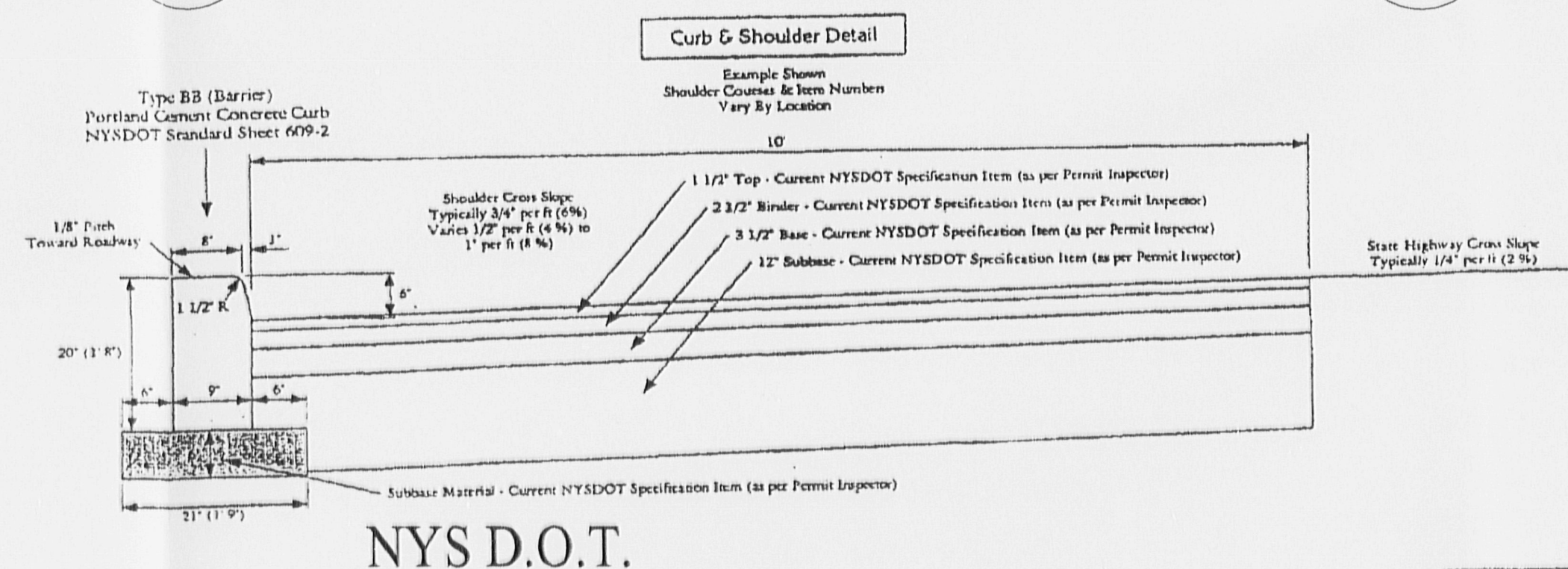
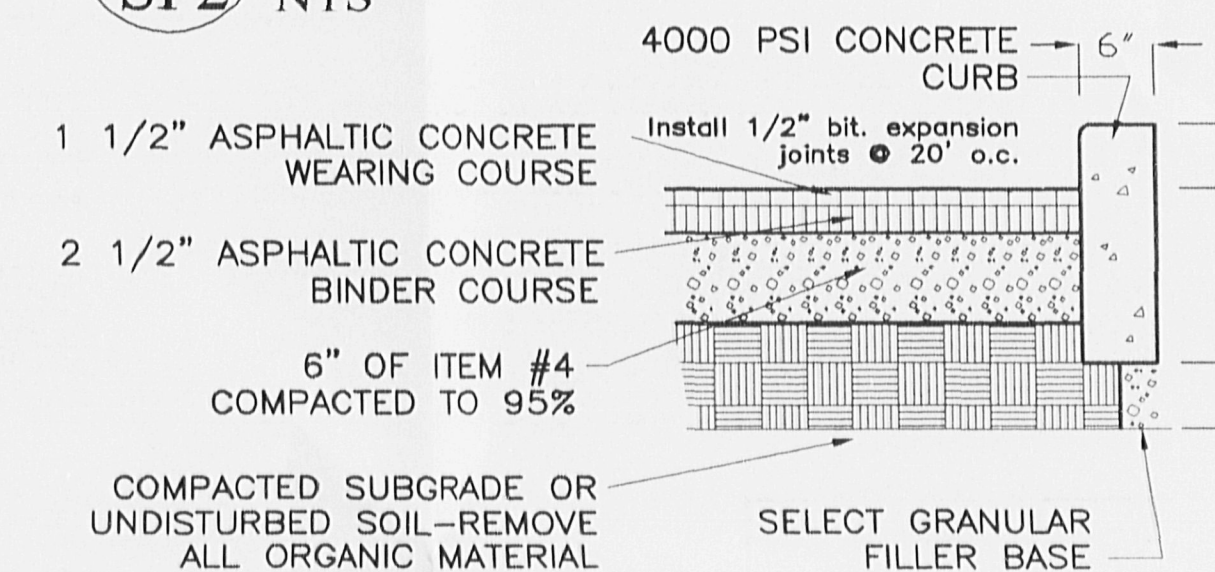
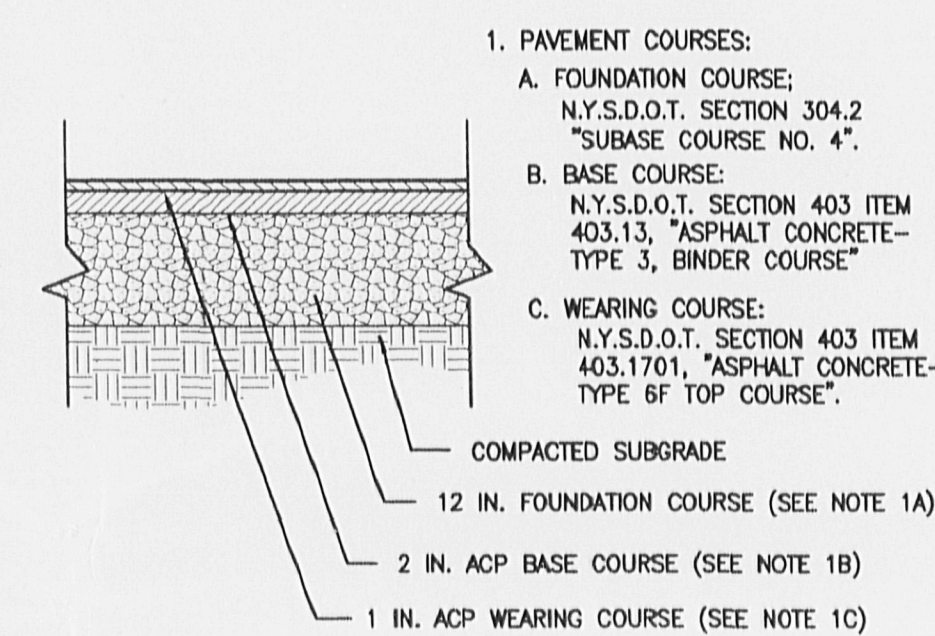
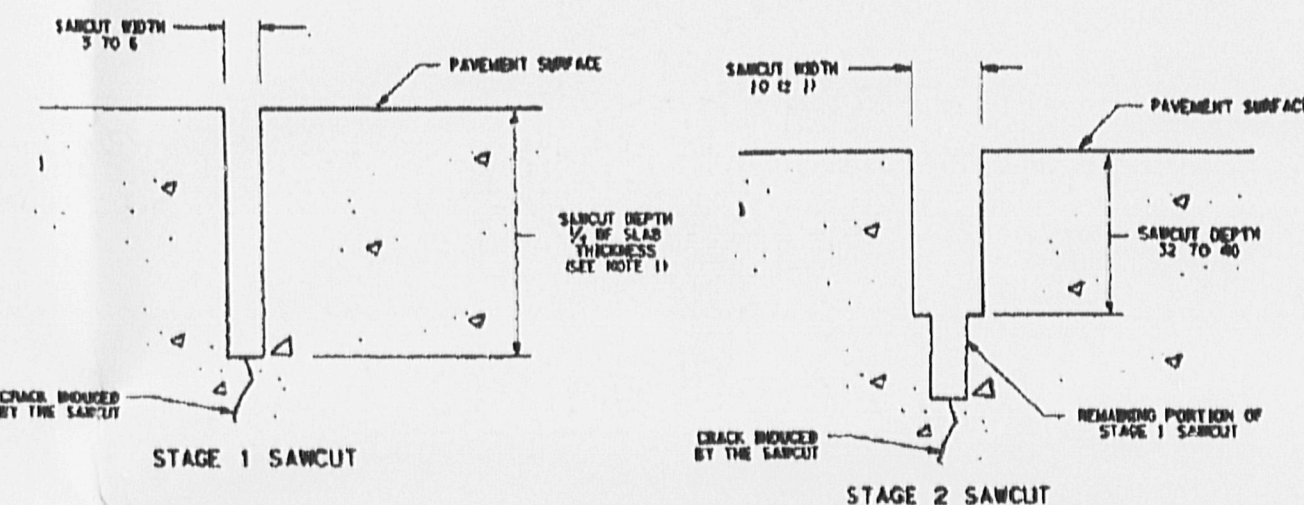
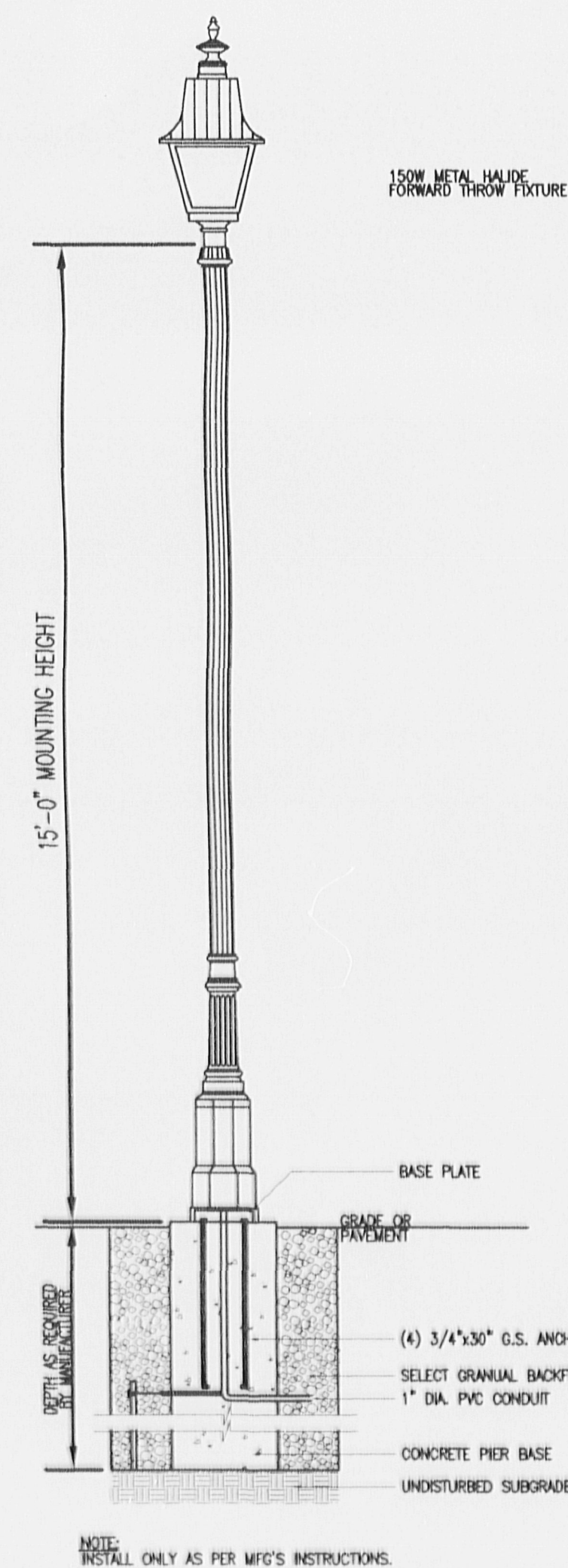
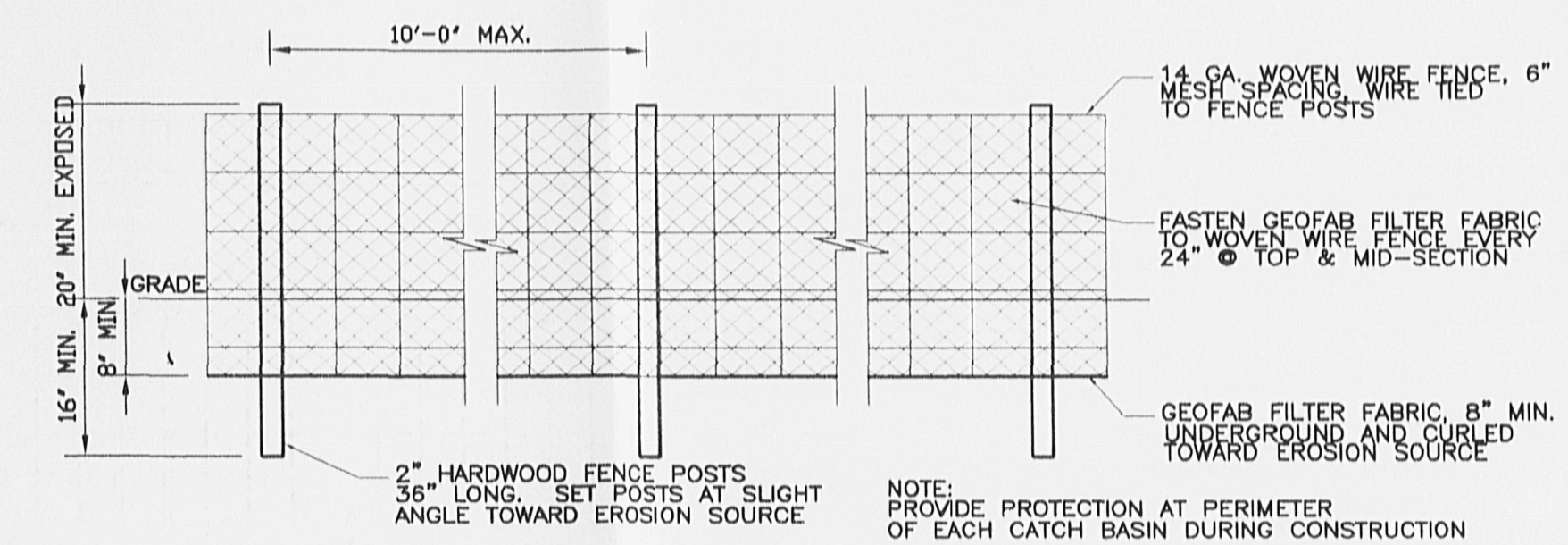
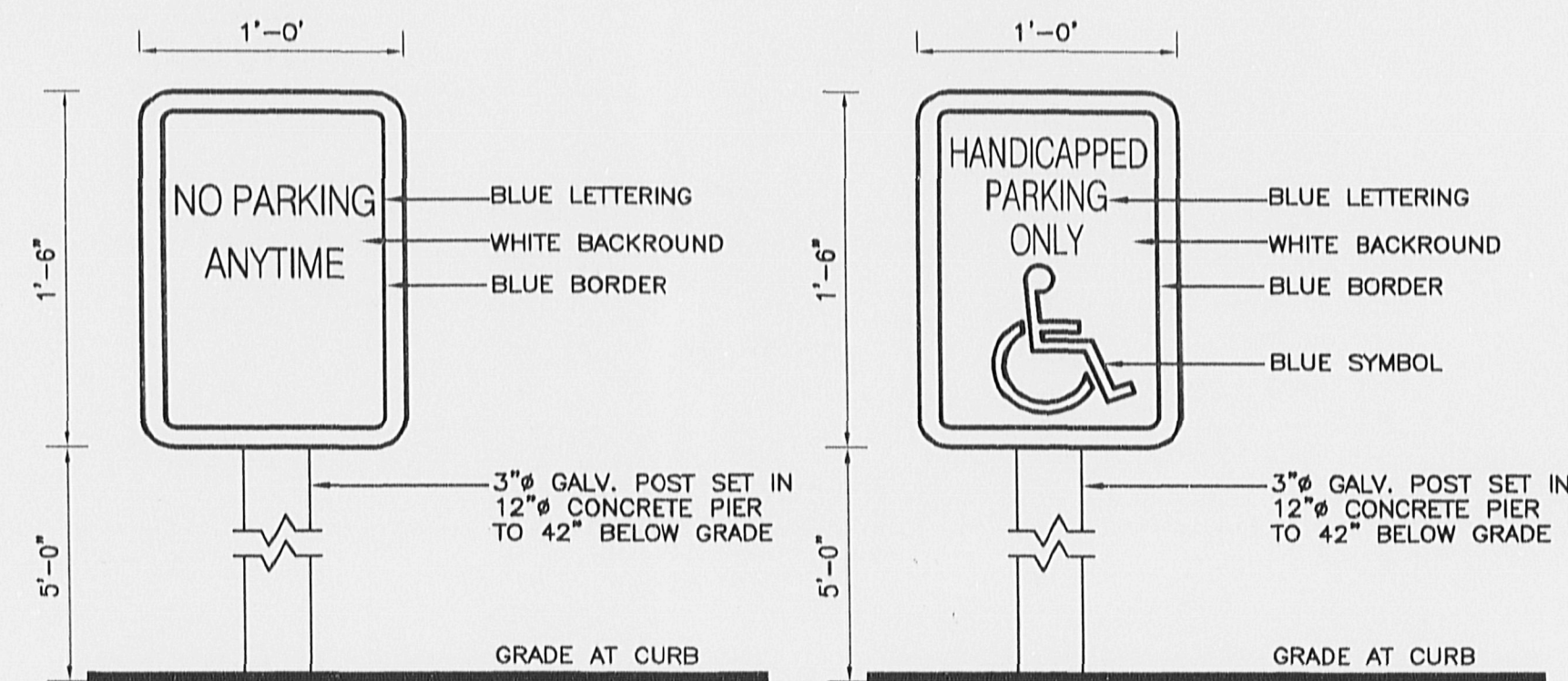
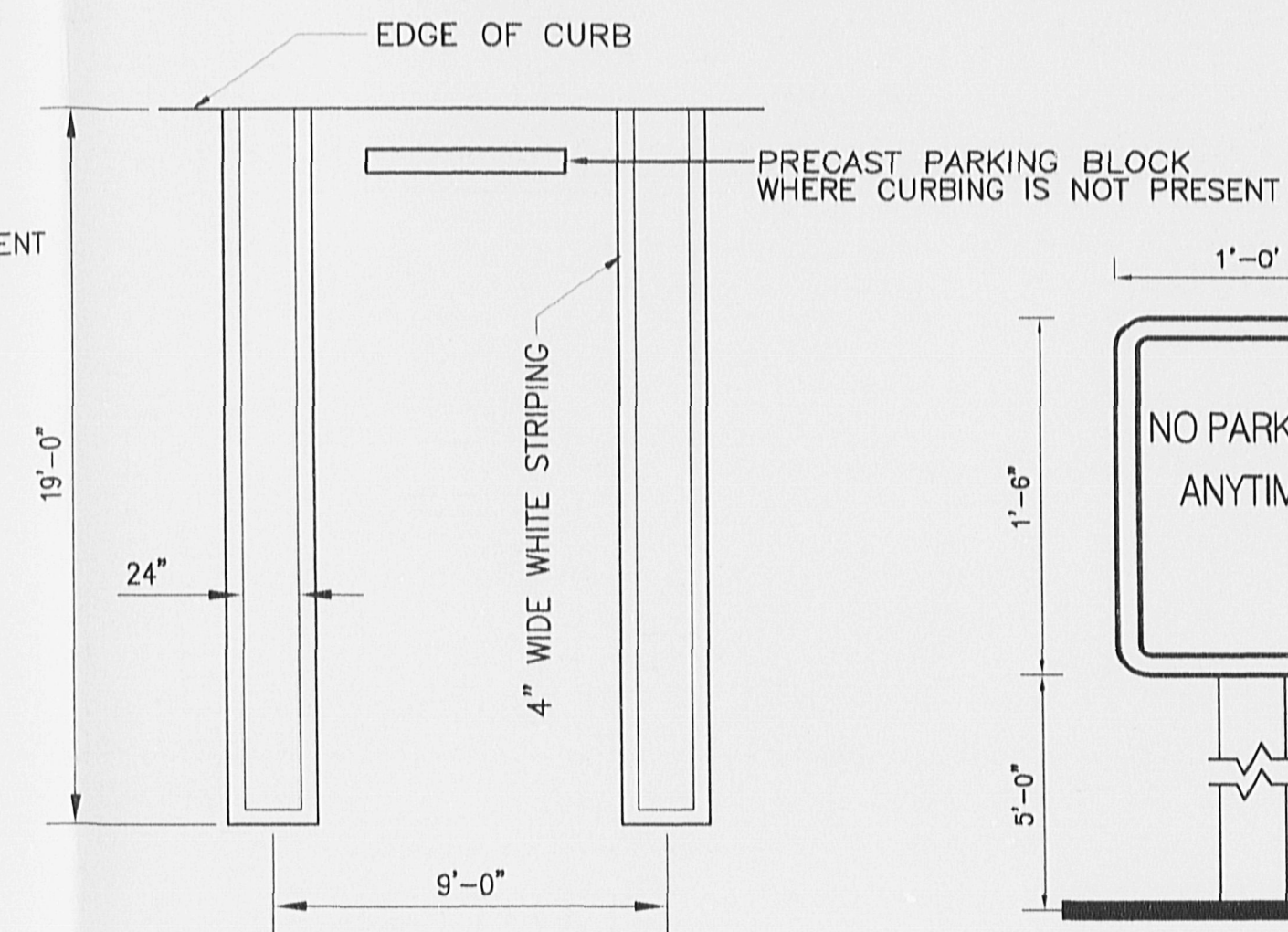
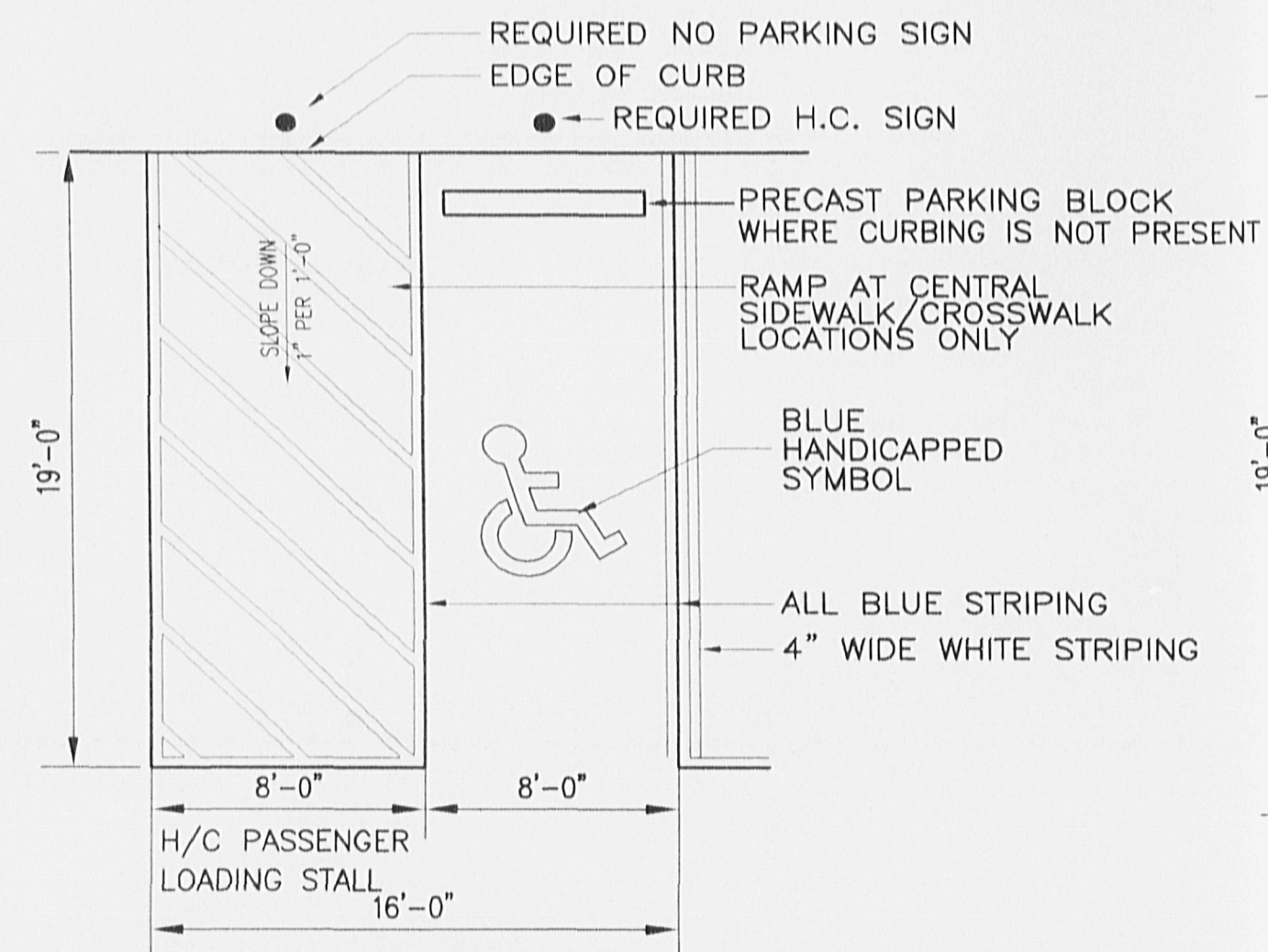
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8/17/2007



1 Site Plan  
SP1 Scale: 1"=20'-0"





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# Silver, Forester, Schisano and Lesser

**New Windsor, NY**

## SITE PLAN DETAILS

REVISIONS	
DATE	
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